

Cooldown Commons Phase 3
Built to Sell Development

SHD Design Report
June 2021





Figure 1 - Top View of the subject site outlined in red

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Project Description

The proposed development will consist of the construction of 421 no. residential units within 9 no. blocks ranging in height from 1 – 13 storeys, retail/commercial/office units, residential amenity space, and open spaces along with all associated site development works and services provisions to facilitate the development including parking, bin storage, substations, landscaping and all services. A full description is provided in the statutory notices and in Chapter 3 of the EIAR.

Design Team

Applicant	CAIRN Home Properties Ltd
Architect	Reddy Architecture + Urbanism
Planning Consultant	MCG Planning
Engineer (Civil, Structural, Transport & Traffic)	DBFL
Engineer (Mechanical & Electrical)	Ethos Engineering
Landscape Architect	Murray and Associates
Verified Views & Visual Impact Assessment	Model Works
Daylight & Sunlight Analysis	Avison Young
Wind Analysis	IES
Engineer (Fire Consultant)	Jensen Hughes
CGI's	Model Works
Waste Management	Byrne Environmental Consulting Ltd

Site Statistics	
Total Site Area	3.404 ha
No. of Units	421
Total Gross Area - Proposed	42001 m ²
Total Gross Area - Residential (inc. amenity)	40372 m ²
Total Gross Area - 'Other Uses'	954 m ²
Site Coverage	24%
Plot Ratio	1.23
Gross Density	124 units/ha
Total Public Open Space	4.394 m ²
Resident's External Amenity Space	6.088 m ²

Introduction

The proposed development is located on an urban green field site to the south east of the Cooldown Commons Phase 2 development (currently under construction) in Cooldown Commons, Dublin. The site is 200 meters from Citywest Shopping center to the the south and is immediately adjacent to the Fortunestown LUAS stop on the Red Line.

This Phase will contribute to the continued growth of the Citywest area, ensuring that a dynamic, successful and sustainable local neighbourhood evolves with necessary services and amenities.

The site is bounded by Fortunestown Lane to the south and Citywest Avenue to the north. To the west is Cooldown Commons Phase 2 (under construction) and to the east is a new public park (scheduled for completion in 2021)

The proposed development of 421 build-to-sell apartments with retail/commercial, office & residential amenity uses at ground floor will complete the applicants master plan for the area known as Cooldown Commons Phase 1, 2 & 3.

This design report describes the proposed scheme using the twelve criteria of the Department of Environment, Heritage and Local Government 'Urban Design Manual' as a set of evaluation criteria.

"A good neighbourhood is one where people can easily satisfy daily needs whilst feeling safe as they do so. The most successful neighbourhoods are well connected – to employment centres or places people spend their leisure time. They are places where people can live at any stage of their lives – regardless of physical ability or social status. Successful neighbourhoods also tend to have a wide variety of things to do within them and have a strong connection to the area in which they sit – be it historical, cultural or visual space."
DEHLG - Urban Design Manual



Figure 2 - Aerial view of the site



Figure 3 - View of the site from South East - VIEW 1



Figure 4 - View of the site looking from north - VIEW 2



Figure 5 - View of the site looking from South - West - VIEW 3

Introduction



Figure 6 - Panoramic view from City West Drive

Introduction

The design proposal for the project took as its starting point, the requirement to meet the SDCC aspirations for the site as set out in the Local Area Plan and 2016 - 2022 Development Plan.

South Dublin County Development Plan 2016-2022 sets out South Dublin County Council's objectives for the future development of the area.

Settlement Strategy

The Development Plan notes that Saggart/Citywest is not listed as a Moderate Sustainable Growth Town in the RPG (Regional Planning Guidelines) but its population exceeds the RPG defined population threshold for a 'Small Town'. As a result, the Development Plan identifies the area as an Emerging Moderate Sustainable Growth Town within the Settlement Hierarchy. In addition, Citywest is identified as a District Centre within the Urban Hierarchy.

Current Zoning

In the current South Dublin County Council Development Plan 2016 - 2022, the site is zoned as RES-N with the objective:

"To provide new residential communities in accordance with approved area plans"

Please refer to Fig 7 - Extract from South Dublin County Council Development Plan 2016 - 2022 Zoning Map and Fig 8 from Fortunestown Local Area Plan (May 2012) Zoning. In both cases the lands have been zoned for Residential Use which our proposed development is aligned too.

For complete planning assessment please refer to the McGill planning consultants report which accompanies this submission

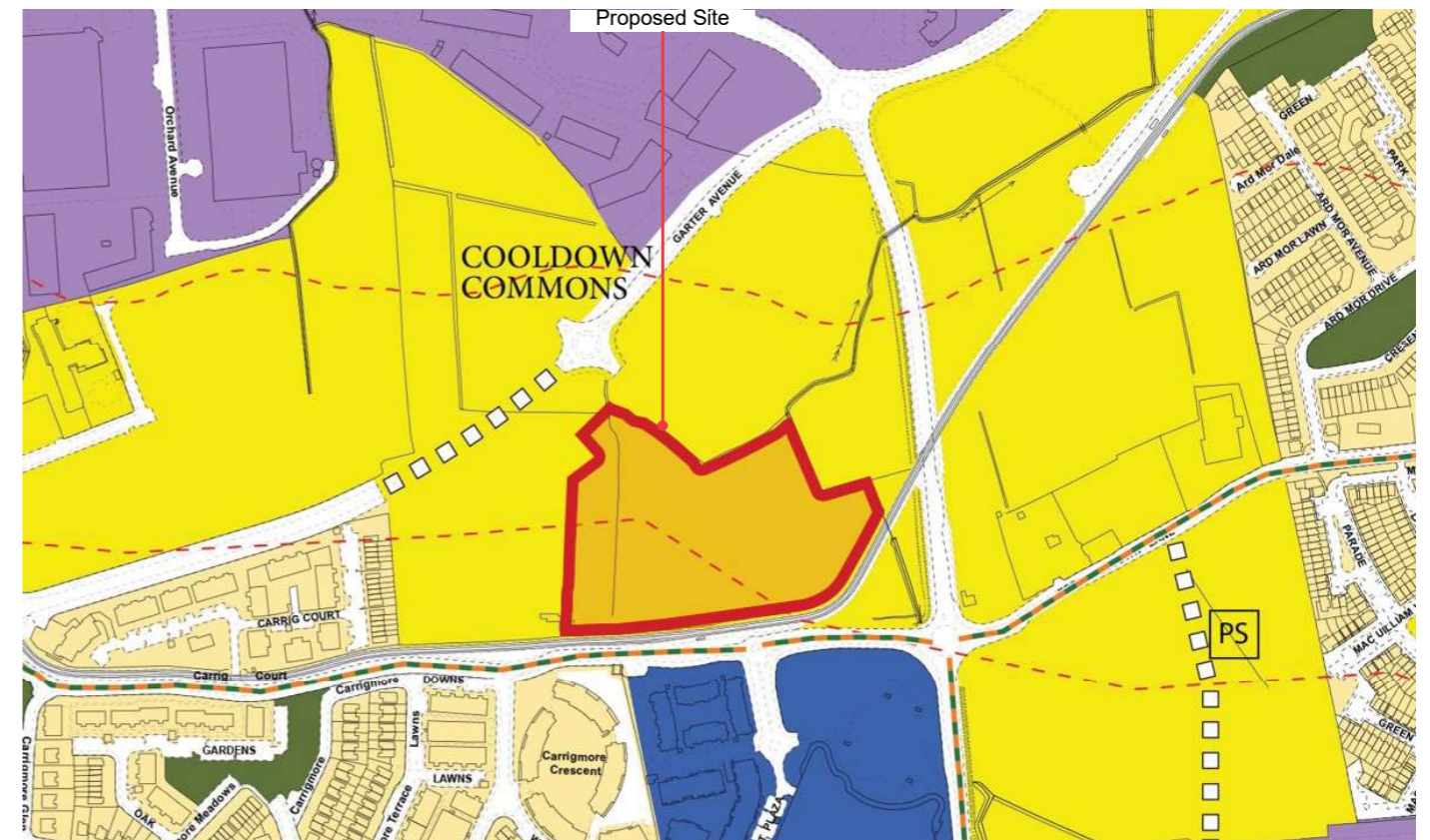


Figure 7 - Extract from South Dublin County Council Development Plan 2016 - 2022 - ZONING MAP

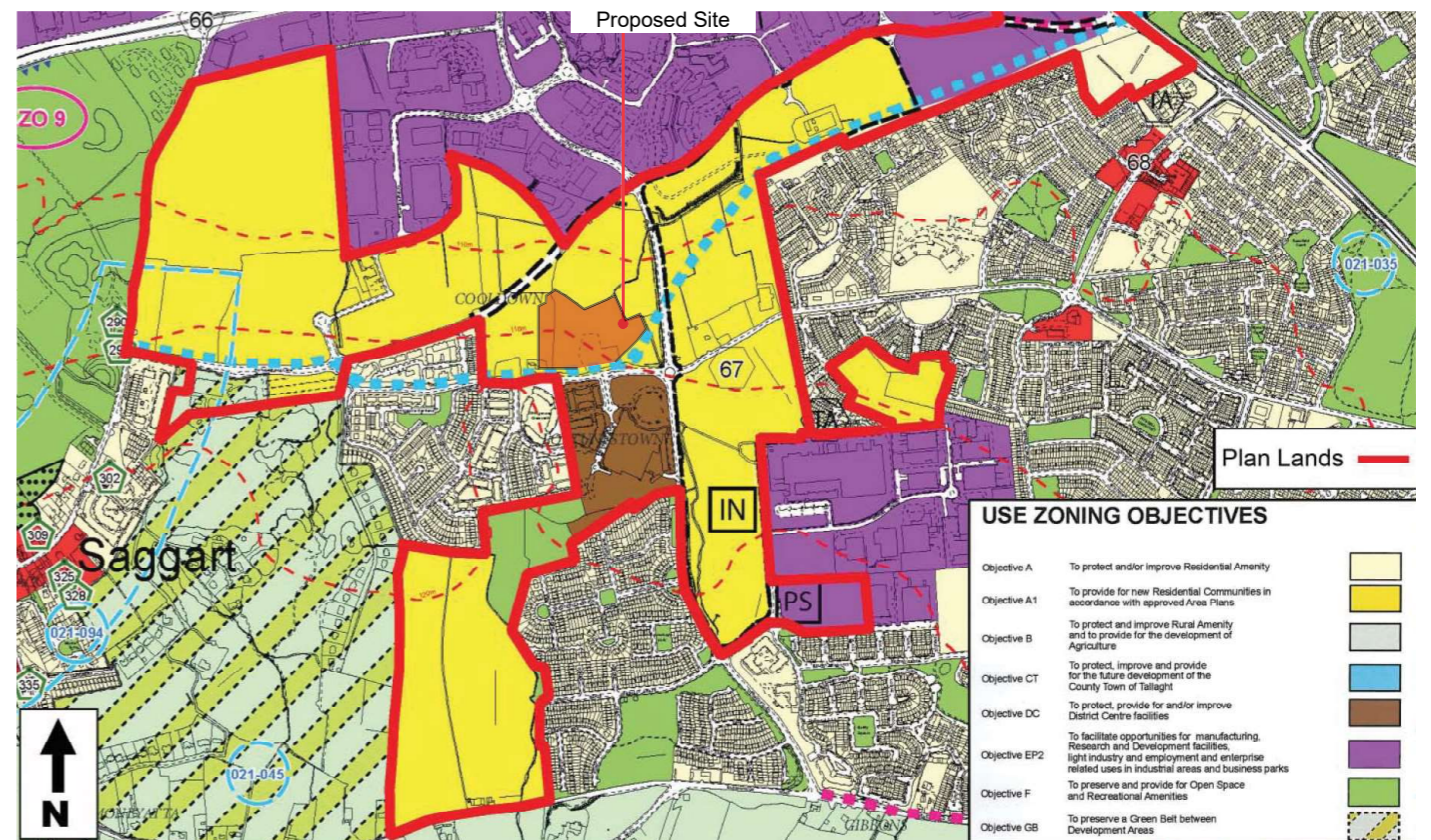


Figure 8 - Extract from Fortunestown LOP (May 2012) - ZONING

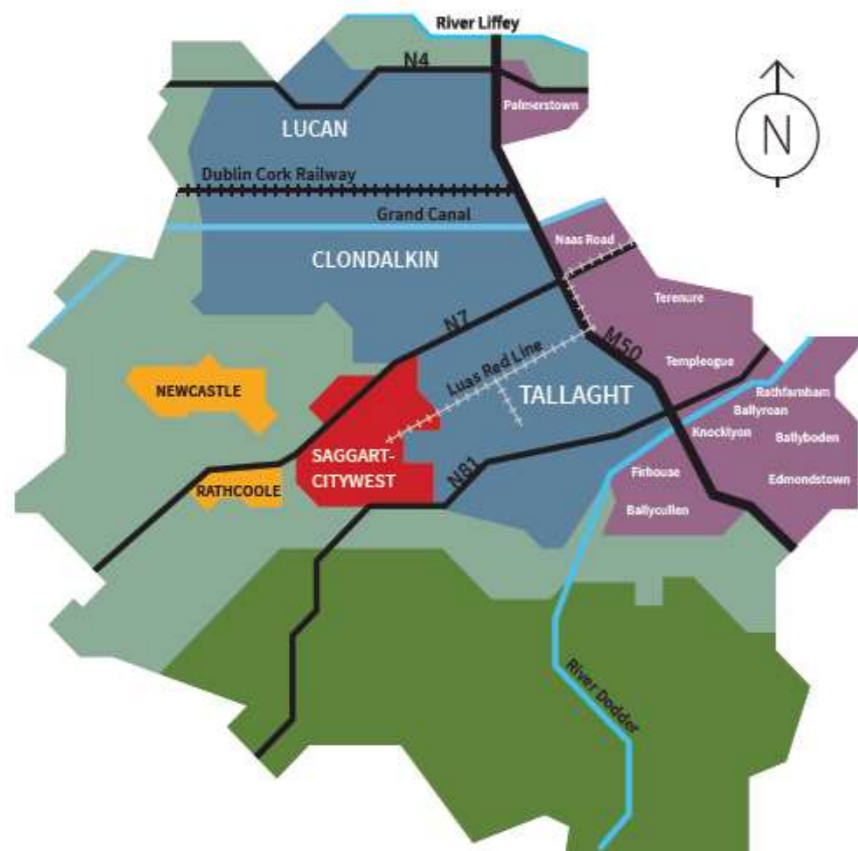


Figure 9 - Extract from Fig 1.1 of the SDCC Development plan

Introduction

Fortunestown Local Area Plan (May 2012)

The LAP identified a number of important design criteria to be addressed by any proposed development on the subject lands.

These include the following in italics: -

Building Heights Criteria:

- *3 storey height limit, with exceptions justifiable only in limited exceptional circumstances*
- *strong build edge along main streets*

To the east of the proposed development we have arranged three Duplex Apartment Blocks (F1, F2 and G) which are each 3 storey in height. The blocks have been arranged along the east side of the new link road running north/south through the development. This will create a strong built edge to the main access road.

- *gradual change in building heights*

The duplex blocks are located to the south-east of Block C1, which is part of the Cooldown Commons Phase 2 development, (currently under construction). This Block is 4 storey in height, the location of 3 storey duplex immediately south of this block is a suitable and gradual height change in this location.

Furthermore to the east of Blocks F1 and F2, to the north of Block G is a proposed residential development Permission Granted Plan Ref: SD 16A/0210. This development is predominantly 2 storey in height, again a transition from the proposed 3 storey duplex units to these 2 storey housing units would be considered suitable in this location.

- *respect context building heights*

As mentioned above the immediate context heights to the north and east of the site is 2 to 4 storey. To the west of the duplex units is Cooldown Commons Phase II (currently under construction), development consisting of 6 storey blocks. These heights have determined the most suitable location for the duplex units, to be east of the development, along the main access road, so as to allow for a suitable transition between the established building heights and the proposed building heights.

Policy 9 res building heights:

New developments to incorporate gradual change in building heights

Building heights in zone 'res-n' south to n7 be no more than 12m, where not covered by LAP

Tall buildings (over 5 storey) possible in strategic and landmark locations in town centres, mixed use zones and strategic dev zones, subject to approved lap or planning scheme

SDCC Development Plan - Design standards building heights (section 11.2.7):

Landmark Opportunities:

Gateway and landmark buildings do not necessarily mean high buildings, but buildings / treatment that are unique in architecture, finish and visual impact, should be easily recognisable and punctuate their location. Permissible where they perform a clear way-finding function and contribute to the legibility of the area

The proposed development includes a new public plaza located to the south and adjacent to the Cooldown LUAS stop. This plaza is the gateway to the proposed development and will be identified by a number of high buildings from 9 to 13 storey's which frame the plaza on 3 sides.

These buildings will punctuate and announce the location of this new residential quarter in Cooldown Commons Phase 3.

For complete planning assessment please refer to the McGill planning consultants report which accompanies this submission.

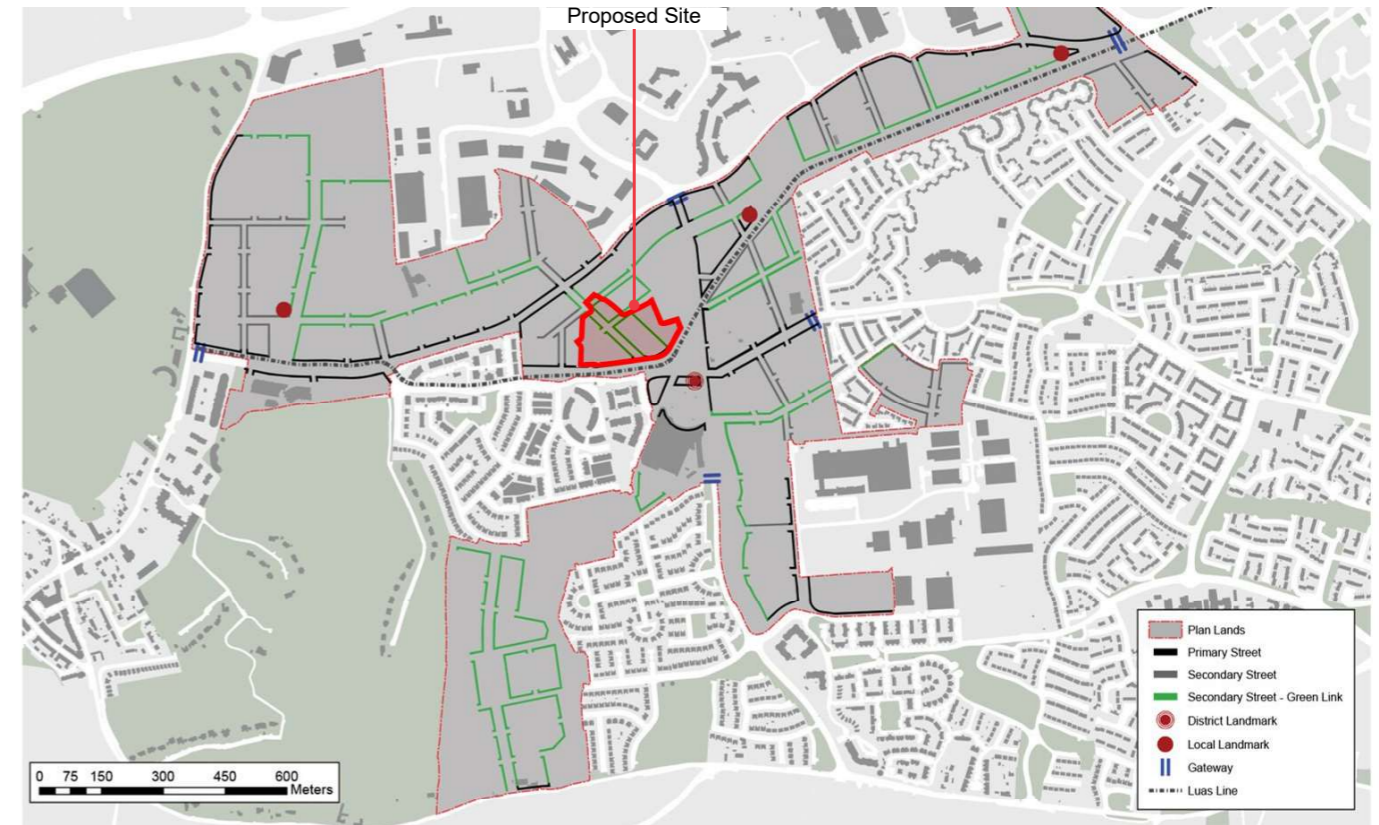


Figure 10 - Extract from Fortunestown (May 2012) - Density and Dwelling Mix

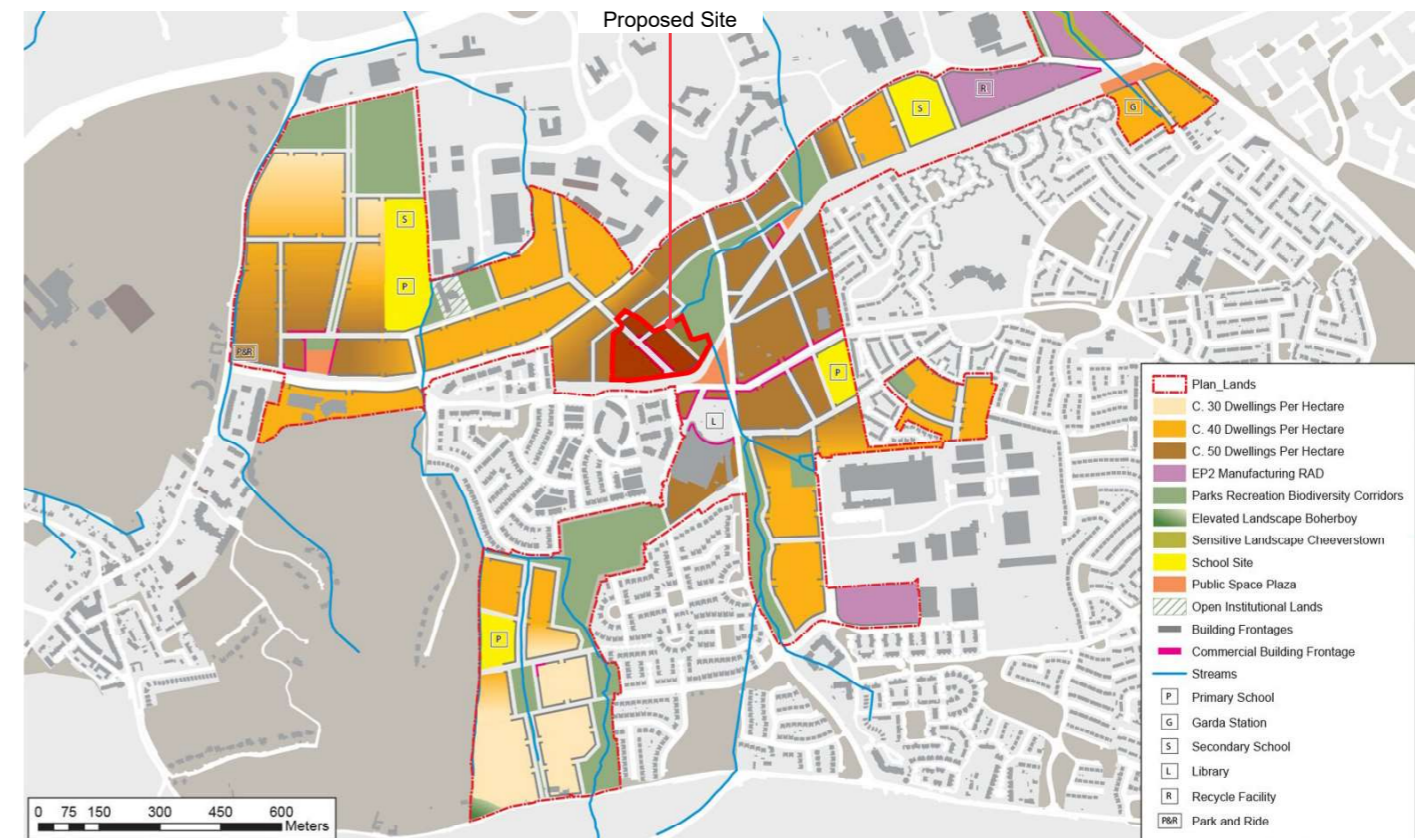


Figure 11 - Extract from Fortunestown (May 2012) - Land Use and Density Framework

01 Context - How does the development respond to its surroundings?

"Any new development should improve on the existing situation, and at the same time be sensitive to its context."

DEHLG - Urban Design Manual

Context - Positive Indicators:

- A development should seem to have evolved naturally as part of its surroundings
- Appropriate increases in density respect the form of buildings and landscape around the site's edges and the amenity enjoyed by neighbouring users
- Form, architecture and landscaping have been informed by the development's place and time
- The development positively contributes to the character and identity of the neighbourhood
- Appropriate responses are made to the nature of specific boundary conditions

Cooldown Commons Phase 1 & 2 Development

To respond to the surrounding developments we must analyse the Cooldown Commons Phase 1 & 2 development which has set a number of criteria in the immediate vicinity of the subject site that must be understood to inform the natural progression of the master plan for phase 3 of the development.

Phase 1 & 2 (outlined in blue) established a clear divide between the lower density and higher density units and their position on the site. The lands are subdivided by a new link road to Fortunestown Lane. This subdivide created two distinct character areas. To the north of the link road the development is predominantly 2/3 storey low density housing which has been arranged around a large central public open space serving the majority of the residential units.

To the south of the link road the residential Apartment Blocks range from 4 to 6 storey and are again centered on a second public open space (Triangular Park). The park is also used as a buffer zone to locate and accommodate the 3 storey duplex units which flank the north/south link road and form the eastern edge of the park. These established principles as highlighted above have been utilised to inform the design for the Cooldown Commons Phase 3 Master Plan and are demonstrated in more detail under the following headings: -

Cooldown Commons Phase 3

Public Open Space

Three distinctive and different Public Open Spaces have been provided to the proposed Development and include an extension to the phase 2 public park (resident's park), a new public plaza to serve the Fortunestown LUAS stop and a new link park to access and connect to the proposed public park currently, under construction.

Place Making / Character Area

Having established new public open spaces the architecture of the surrounding buildings will provide context and create a unique identity to the new character areas of Phase 3 under the Masterplan.

Land Mark / Gateway Building

The prominent focal point of Phase 3 is the creation of the public plaza that connects the residential development with the Luas and surrounding amenities. The plaza which is served by the LUAS Fortunestown stop, lies immediately north of the Citywest shopping center which is a key amenity serving the wider community and neighborhoods. As such, the plaza can accommodate a landmark building demonstrating the importance of this new public space and acting as a gateway to the surrounding residential developments.

Permeability

Similar to Cooldown Commons Phase 1 & 2, a new estate road will traverse the subject site linking Phase 3 to Phase 2. This road will abut a new cycle and pedestrian routes to both the Plaza and the adjacent Parks located to the east and west of the main access road. Provision will also be made for pedestrian/bicycle access to the Park which is scheduled for completion in 2021.

Connectivity

Located in a well established neighbourhood, new connection points will be provided to existing local amenities through natural routes/walkways promoted by an active landscape scheme demonstrating the routes to individual destinations in the immediate and wider context.



Figure 12 - Cooldown Commons Phase 1 & 2 Development outlined in blue

01 Context - How does the development respond to its surroundings?

Concept Design Analysis

The site holds a strategic location in the neighbourhood centre and marks a number of transitions in the public realm as follows;

- The fulcrum of the Cooldown Commons Master Plan with a new plaza and key landmark building at the Fortunestown Luas stop,
- Creates a new intersection/reactionary space with the Citywest Shopping centre located immediately to the south of the site,
- To the west of Cooldown Commons Phase 3, the existing buildings in Cooldown Commons 2 has been designed incorporating a buffer zone between the buildings and the LUAS. This zone provides landscaped public space with parking,
- Pedestrian connectivity is central to the design of Phase 3 culminating with the central plaza, engaging with the surrounding residential development and local amenities of the public park to the west, LUAS and the Citywest Shopping Center,
- There is a change in building scale along Fortunestown Lane, identified by the transition in heights culminating in landmark building at the plaza and transcending in scale and height as the development moves east, terminating at the new public park,
- The site is located at the curve on the LUAS line just before the Fortunestown LUAS stop marking the start of the Cooldown Commons Residential Quarter.
- When approaching the Quarter from Dublin City Centre there is no focal point or punctuation mark identifying the presence of the new residential quarter.

The proposed design therefore creates an appropriate punctuation mark at the transition point between the LUAS stop and the entry to the Cooldown Commons Quarter. This punctuation is in part provided by the proposed new public plaza, marking the entrance to the Quarter with new pedestrian, bicycle and vehicular routes, all springing from this point to the new public open spaces, to the east and west of the development.

The design of the plaza ensures that it becomes a vibrant and active space through the place making and arrangement of spaces, uses and landscaping, while connecting with the LUAS and surrounding amenities. Retail and residential amenity uses are arranged around the plaza supporting the activity and density created by the proposed development. To the east of the Plaza but still well connected is a Retail Unit and Office Space, ensuring that the activity extends beyond the plaza, commercial units are located fronting onto the LUAS.

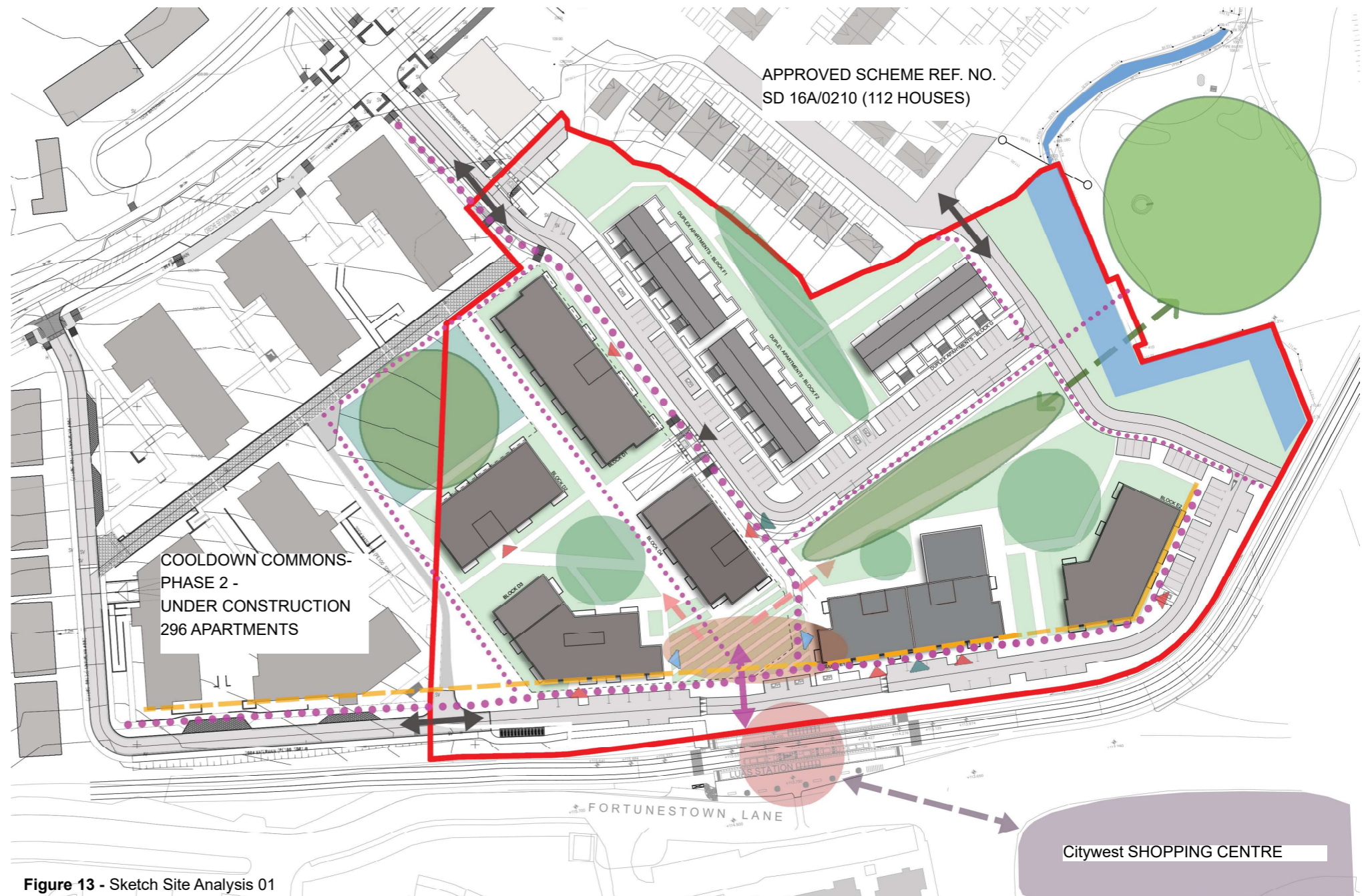
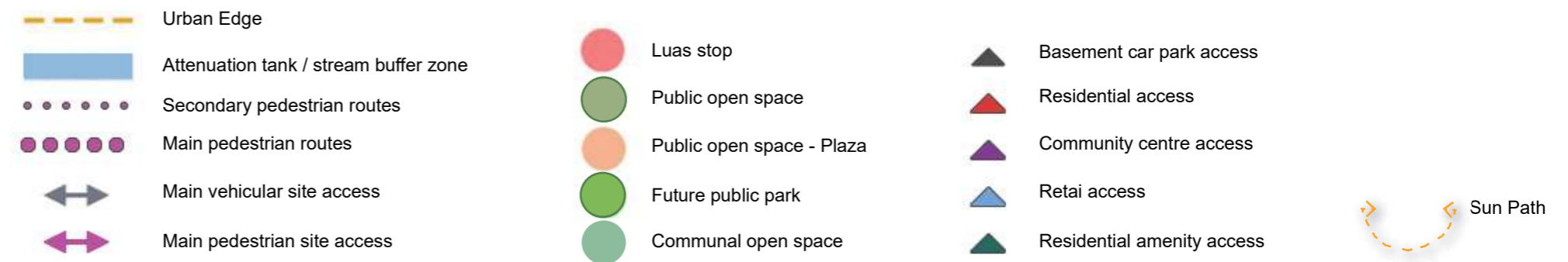


Figure 13 - Sketch Site Analysis 01



01 Context - How does the development respond to its surroundings?

Concept Design Analysis - Public Park 02

The master plan evolves from the Plaza and extends to a variety of public spaces which serving the development.

To the north-east of the plaza there is a new public open space (linear park) proposed.

The park will incorporate active uses to be enjoyed by the surrounding blocks. This park is surrounded to the south by Blocks E1 and E2 and Block G to the north, but positioned so as to encompass the space thus creating a sense of enclosure and protection.

Arranged in an east west orientation the park naturally draws pedestrians and cyclist to and from the new plaza in the west and the proposed park to the east.

As part of this submission a new link bridge/pathway is proposed to further enhance this natural connection to a future amenity.

The park will be monitored on all sides promoting a sense of place, with active and passive surveillance, generated by the intensified residential use on all sides.

Blocks F1, F2 and G are 3 storey Duplex apartment Blocks which have been arranged to wrap the proposed residential housing scheme to the north. These blocks are arranged to provide a semi private open space for the residents of these blocks and will include toddler play equipment and areas for activity.

The Blocks are a minimum of 22m from the proposed future housing units and have been orientated so as to avoid overlooking or impacting on their privacy.

Blocks E1 and E2, which flank the southern edge of the park, run adjacent to the LUAS and are set back to avoid overlooking between the block and overshadowing to the majority of the park.

The shadow and daylight analysis report which accompanies this submissions demonstrates compliance with the guidelines for similar scale development.

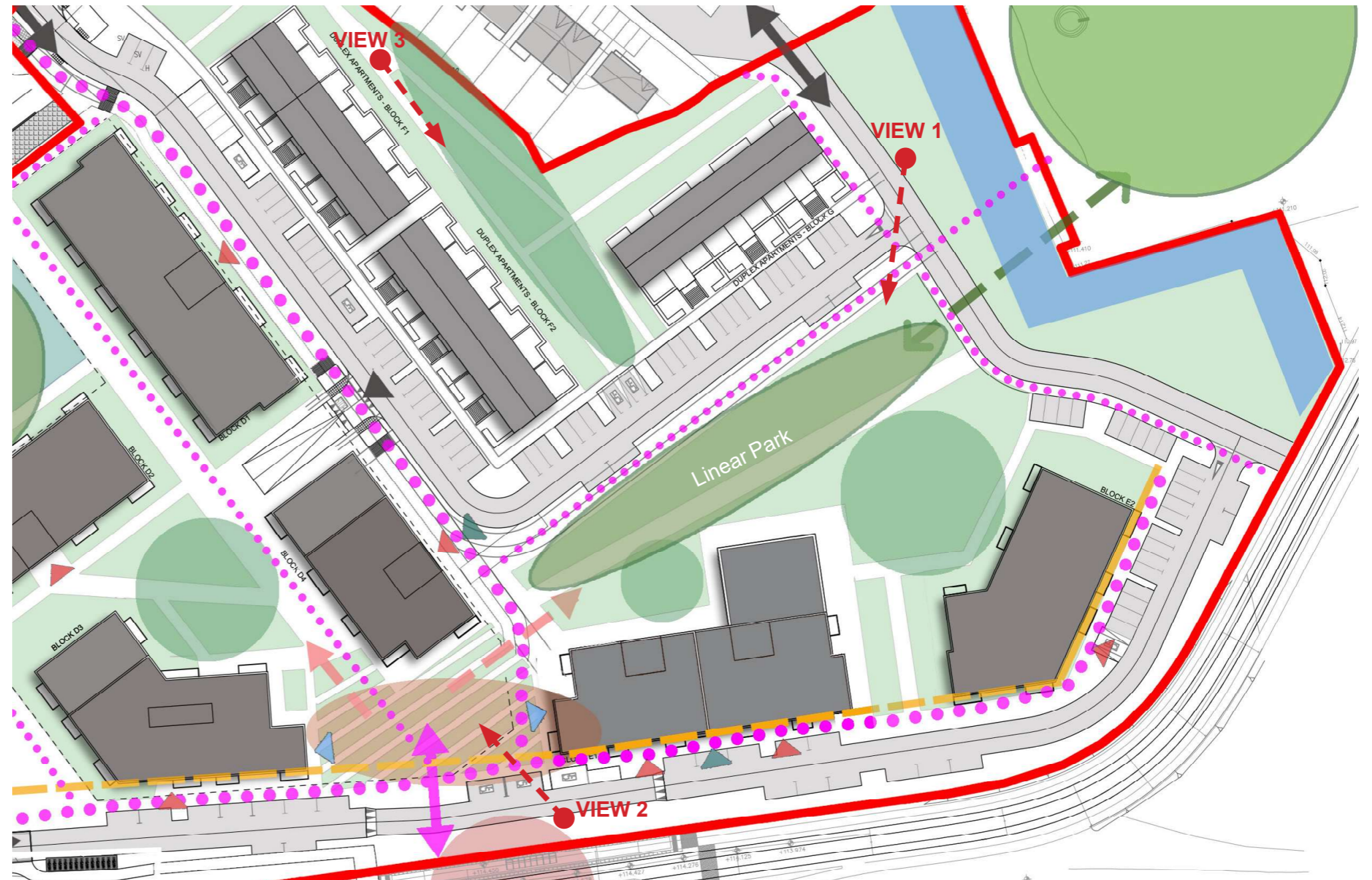


Figure 14 - Sketch Site Analysis 02



Figure 15 - VIEW 1



Figure 16 - VIEW 2



Figure 17 - VIEW 3

01 Context - How does the development respond to its surroundings?

Concept Design Analysis - Public Park 02

The master plan evolves from the Plaza and extends to a variety of public spaces which will serve the development. To the north west of the plaza the existing park, which forms part of Cooldown Commons Phase 2, will be regularised and extended to a formal rectilinear plan thus providing park amenities to phase 2 and 3.

This continuity is essential to ensure a seamless transition between the developments with neither dominating or detracting from an established public activity hub.

A playground will be installed in the park under Phase 2 development, but available for all residents.

Blocks D1 and D2, arranged to the east and south of the park have been designed in scale to harmoniously transition from Phase 2 of the adjacent development.

The building heights are six and eight storey, with an appropriate set back from the park so as to act as a backdrop to the space and form a new heart to the Cooldown Commons Quarter.

The park will be monitored on all sides promoting a sense of place, with active and passive surveillance generated by the intensified residential use on all sides.

The position of Blocks D1 and D2 has been set back from the Blocks A and B of the Cooldown Commons Phase 2 development so as to avoid overlooking and any loss of privacy between the existing and proposed residential blocks.

Blocks D2, D3 and D4 which wrap the internal courtyard, which serves each block, have also been arranged to ensure privacy and overlooking is avoided between the blocks.

The shadow and daylight analysis report which accompanies this submissions demonstrates compliance with the guidelines for similar type High Density Residential Development.



Figure 18 - Sketch Site Analysis 03



Figure 19 - VIEW 4



Figure 20 - VIEW 5



Figure 21 - VIEW 6

02 Connections - How well connected is the new development?

"Successful neighbourhoods tend to be well connected to places, facilities and amenities that help to support a good quality of life. Such places include high quality open space and landscapes, leisure opportunities, shops – both for convenience and comparison goods, schools, places of worship, health centres and places of employment.

When choosing which area to live in, most people will choose a neighbourhood that permits easy or close access to the places that they need or like to visit on a regular basis. So the quality and sustainability of a neighbourhood can be measured by both how well it is connected to important amenities, and how pleasant, convenient and safe those links are to use."

DEHLG - Urban Design Manual

Connections - Positive Indicators:

- There are attractive routes in and out for pedestrians and cyclists
- The development is located in or close to a mixed-use centre
- The development's layout makes it easy for a bus to serve the scheme
- The layout links to existing movement routes and the places people will want to get to
- Appropriate density, dependent on location, helps support efficient public transport

The development is immediately adjacent to the Fortunestown Luas stop thus informing the design of the public plaza, ensuring connectivity to the wider area.

To the south of the stop is the Citywest Shopping Centre, which ensure support to existing and proposed residential development in the immediate and surrounding area.

The plaza located at the intersection of the development is the ideal sprung point for natural pedestrian and cycle routes to and from the development to the surrounding developed lands and the new public park to the east of the site, (under construction).

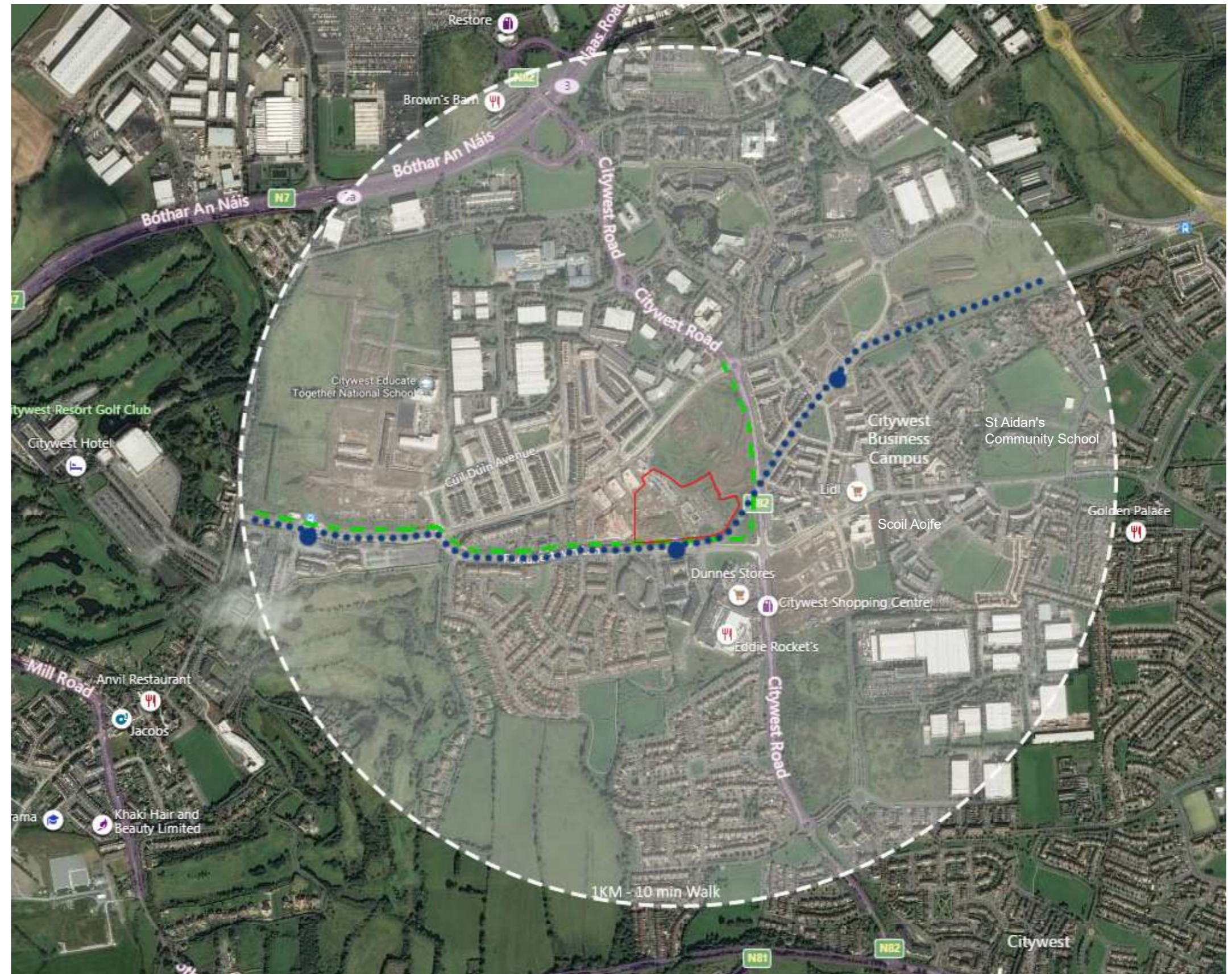


Figure 22 - Site Connectivity

● —● — Luas Line ● Luas Stop — — — Bicycle lane

02 Connections - How well connected is the new development?

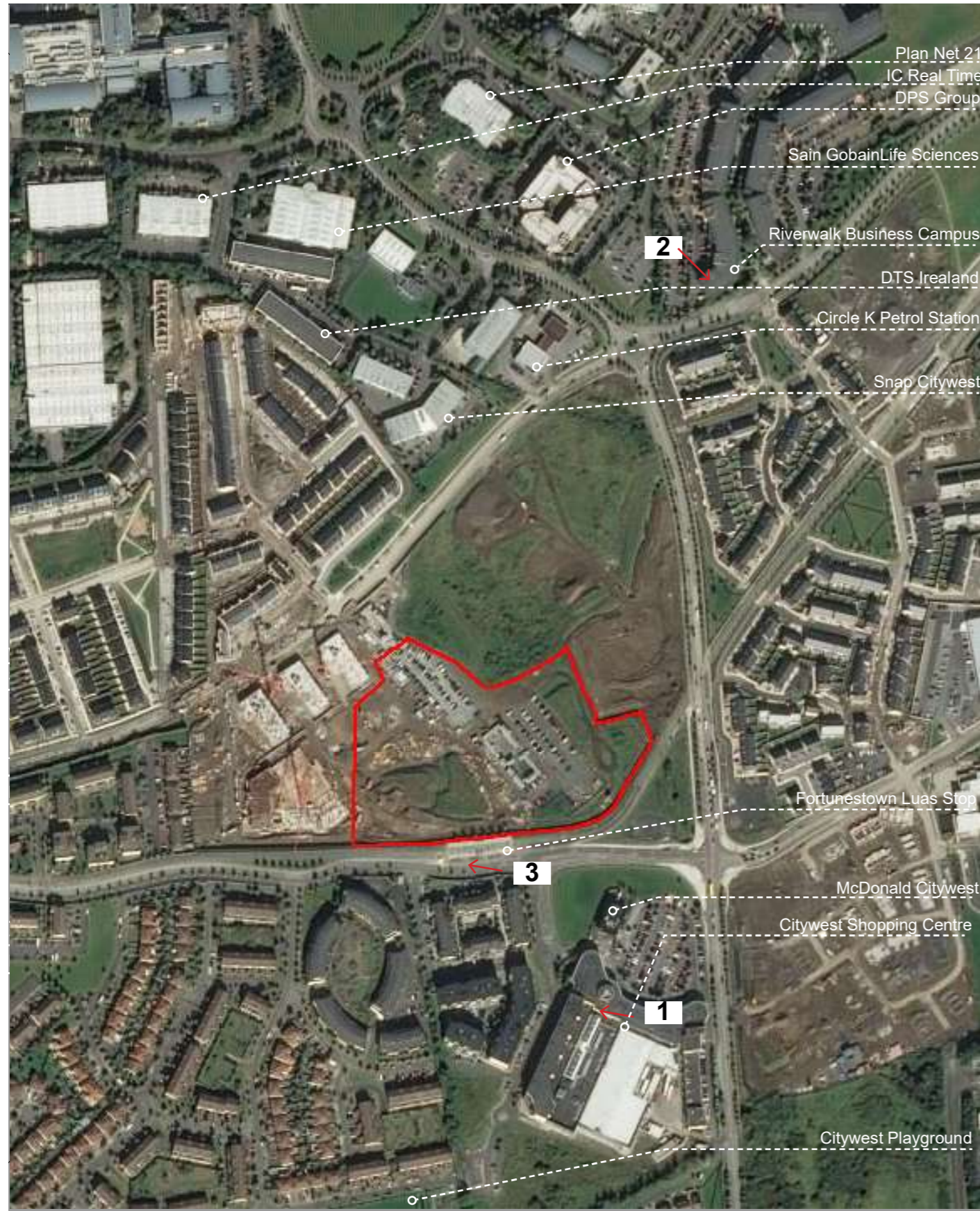


Figure 23 - Map of Citywest with Local Businesses noted



Figure 24 - Location 01 - Citywest Shopping Centre



Figure 25 - Location 02 - Riverwalk Business Campus



Figure 26 - Location 03 - Luas Stop

03 Inclusivity - How easily can people use and access the development?

"Inclusive design is defined as that which meets the needs of all users, regardless of age, gender, race or sensory and mobility abilities. In its broadest sense, it also means creating places that can be enjoyed by people from all cultural and socio-economic backgrounds."

DEHLG - Urban Design Manual

Inclusivity - Positive Indicators:

- New homes meet the aspirations of a range of people and households
- Design and layout enable easy access by all
- There is a range of public, communal and/or private amenity spaces and facilities for children of different ages, parents and the elderly
- Areas defined as public open space that have either been taken in charge or privately managed will be clearly defined, accessible and open to all
- New buildings present a positive aspect to passers by, avoiding unnecessary physical and visual barriers

The proposed apartment blocks provide a positive aspect to passers by, avoiding unnecessary physical and visual barriers to the existing and surrounding established residential units blocks.

The site's immediate proximity to the LUAS Foronestown Stop allows for exceptional public transport access to the site and from the surrounding locality.

The proposed development will contribute to the unit mix in the surrounding area, which traditionally has been 2-3 story housing. By providing a range of unit mix, inclusivity is ensured for all households and so resulting a vibrant and dynamic neighbourhood.

The public open spaces (Plaza, and Parks 01, 02, 03) and the public pedestrian routes are clearly identifiable as such and are open to all for access. All public open spaces have been clearly defined by the proposed apartment blocks, which ensure quality, well designed amenities with both active and passive uses.



Figure 27 - Typical Plan with public open spaces indicated

03 Inclusivity - How easily can people use and access the development?



Figure 28 - 3D View of Public Plaza @ Fortunestown LUAS Stop

04 Variety - How does the development promote a good mix of activities?

“The most successful - and sustainable - communities are the ones that contain a good variety of things to do, see and enjoy. For larger scale developments, this means providing a good mix of uses, housing, facilities and amenities that help to engender a successful community. For smaller infill developments, it means ensuring that the proposed uses and housing types complement those that already exist so that a balance is struck.”
DEHLG - Urban Design Manual

Variety - Positive Indicators:

- Activities generated by the development contribute to the quality of life in its locality
- Uses that attract the most people are in the most accessible places
- Neighbouring uses and activities are compatible with each other
- Housing types and tenure add to the choice available in the area
- Opportunities have been taken to provide shops, facilities and services that complement those already available in the neighbourhood

The proposed development will supplement the existing urban fabric at the transition point between the Cooldown Commons Quarter and the adjacent Citywest Shopping Centre to the south of the site.

The proposed retail/commercial units are positioned on either side of the plaza, maintaining active and engaging street frontages. Further residential amenity is provided in Block D1 and an office unit to stimulate active frontages adjacent to the Fortunestown LUAS stop. The plaza landscaping / paving extends to the road edge and engages the LUAS opposite.

Although the quantity of ground floor uses proposed are not large, they are diverse and will contribute and support the existing uses along Citywest Drive and Citywest Shopping Centre.

Block D4 – Residential Amenity Space

Block D3 – Retail/Commercial

Block E1 - Retail/Commercial, & Office Use (3 units)



Figure 29 - Ground Floor Plan

Orange square: Retail

Purple square: Office

Light orange square: Residential Amenities

Red dashed line with arrow: Access to communal spaces

Blue dashed line with arrow: Active Frontage

04 Variety - How does the development promote a good mix of activities?



Figure 30 - Residential Lounge



Figure 32 - Informal meeting Place



Figure 31 - Meeting Room



Figure 33 - Cinema Room

Local Facilities

To support the proposed development we have included a number of local facilities which have been arranged in the ground floor of the three apartment blocks which flank the public plaza. There are 12 car parking spaces and set down spaces provided to serve these units.

Block E1

Block E1 The retail/commercial units are positioned on either side of the plaza ensuring active engagement and active street frontage. There is also an office unit which completes the ground floor book-end which extends further beyond the apartments above. Glazing in the office unit will extend on three sides, and engages to both the street and to the public park behind.

Block D4

Block D4 contains a generous residential amenity facility to support the new residents of the development. The facility has a concierge desk, postal storage, work sharing space, lounge, meeting room, multi purpose room and ancillary back room offices and toilets to the serve and operate the facility.

Block D3

Block D3 has a larger retail/commercial space which feeds off the plaza, providing a conveniently located unit to serve the proposed development and wider local community.

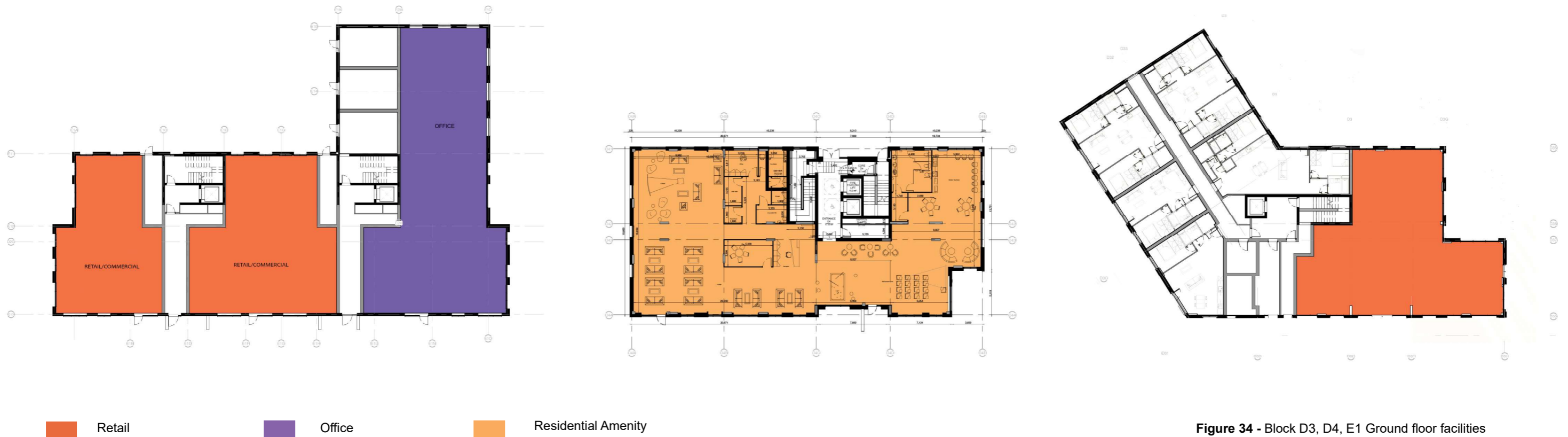


Figure 34 - Block D3, D4, E1 Ground floor facilities

05 Efficiency - How does the development make appropriate use of resources, including land?

"High-level Government policy in the shape of the NSS and the Climate Change Strategy establishes the importance of reducing the energy requirements and greenhouse gas emissions associated with residential development.

There are two main strands to designing places for climate change – mitigation and adaptation. This Criterion seeks to cover mitigation, which addresses how places can be designed to reduce the impact of development on climate change."
DEHLG - Urban Design Manual

Efficiency - Positive Indicators:

- The proposal looks at the potential of higher density, taking into account appropriate accessibility by public transport and the objectives of good design
- Landscaped areas are designed to provide amenity and biodiversity, protect buildings and spaces from the elements and incorporate sustainable urban drainage systems
- Buildings, gardens and public spaces are laid out to exploit the best solar orientation
- The scheme brings a redundant building or derelict site back into productive use
- Appropriate recycling facilities are provided

The proposed development will increase the efficient use of this green field site by generating a density of an appropriate level taking into consideration the location relative to an excellent public transport network.

The proposed design acknowledges the scale and privacy of the neighbouring properties by the careful consideration of the massing of the new buildings, apartment orientation and the distance between blocks. This approach also ensures that the maximum access to natural daylight and sunlight for the apartments is achieved.

The spacious nature of the site is such that it is possible to fully meet the BRE guidelines for the daylight provision in all the residential apartment blocks. Please refer to Avison Young report, which accompanies this submission.



Figure 35 - Typical floor layout showing single aspect units

- 1 Bed Single Aspect Unit
- 2 Bed Single aspect Unit
- Units with North/East & North/West Aspect

05 Efficiency - How does the development make appropriate use of resources, including land?

The predominantly north-south alignment of the proposed residential blocks D1, D2, and D4 ensures all residential blocks have no single aspect north facing apartments.

In Blocks D3, E1 and E2 which generally run east-west through design we have eliminated any single aspect north facing apartments by introducing a knuckle/kink into the Block design (D3 and E2) and by adding an additional core to E1 and introducing larger front to back residential apartment types which enjoy an aspect to the new public park and the adjoining LUAS line.

Blocks D1 and D2 have been arranged around the perimeter of the extended western park (Residents Park) between phase 2 and 3 of the Cooldown Commons Quarter to avail of the views to and from the park.

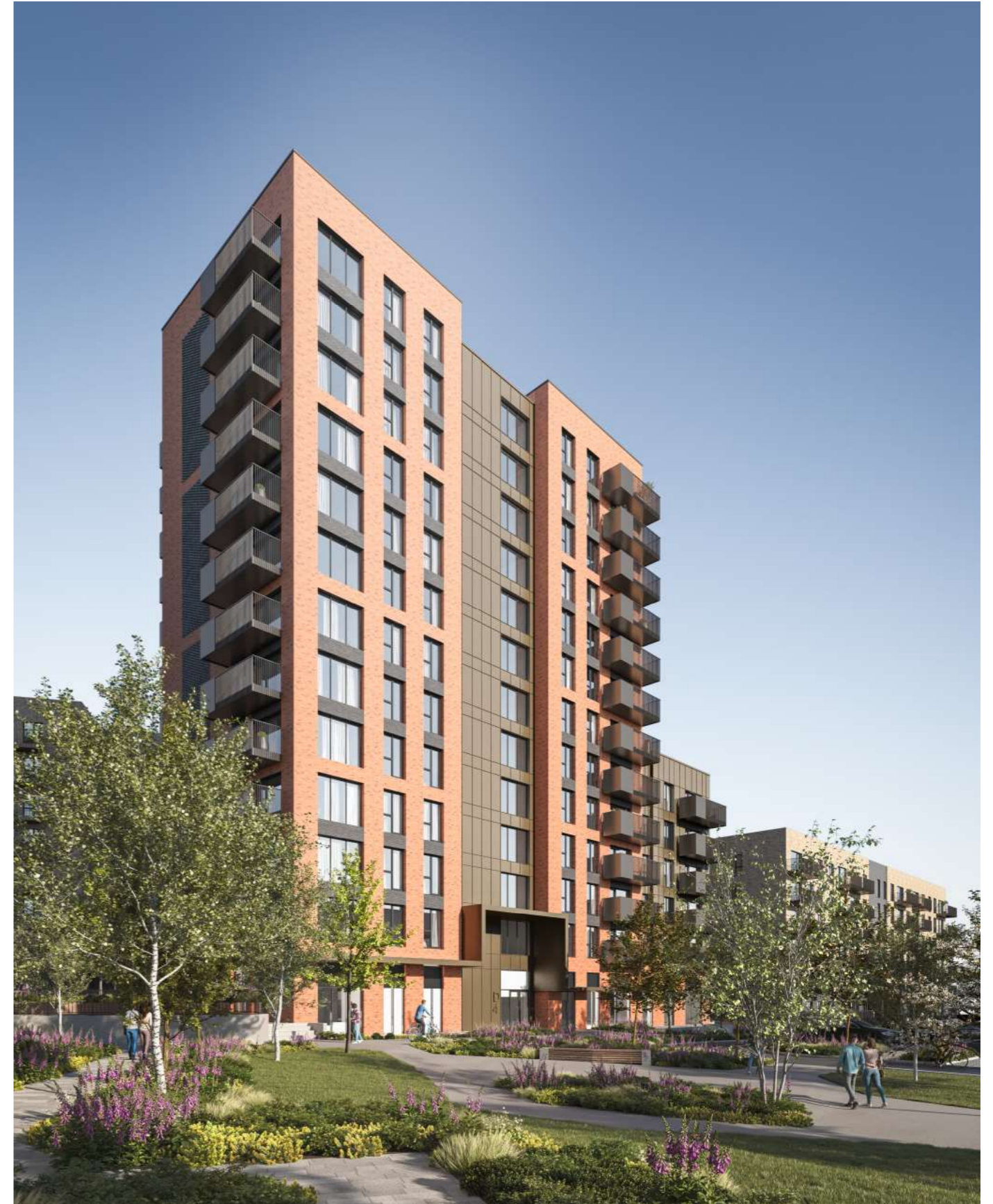
Blocks D2, D3 and D4 have been arranged around a central courtyard. Blocks D3, D4 and E1 also have aspects to the public plaza to the south of the site. Both E1 and E2 blocks have views to the proposed eastern park,

E2 also enjoys a northeastern view to the public park adjacent to the subject site. [This park is scheduled for completion in 2021.

Any units within each block with a northeast or northwest orientation have generally been arranged within the blocks with views to existing/proposed public and communal open spaces

Avison Young have also undertaken studies for the impact of the proposed design on adjoining properties.

Please refer to Avison Young report prepared for this planning application.



05 Efficiency - How does the development make appropriate use of resources, including land?

Daylight, Sunlight & Overshadowing Report,
Avison Young

Executive Summary (Extract)

- Avison Young has been instructed to advise on daylight, sunlight and overshadowing matters in relation to the Proposed Development at Cooldown Commons Phase 3.

- This report considers the provision of daylight and sunlight amenity within newly proposed dwellings; the level of sun hours on ground overshadowing to proposed public amenity areas, private amenity balconies/terraces; the potential impact of the Proposed Development upon the daylight and sunlight amenity to existing and consented neighbouring residential properties; and the level of sun hours on ground and transient overshadowing to neighbouring amenity areas; in accordance with the recommended 2011 BRE Guidelines.

- It is important to understand that the BRE Guidelines are not mandatory. Whilst it provides numerical guidance these are purely advisory and need to be considered contextually. It is not appropriate to use the same target criteria for a denser urban development, as for development in a lower density sub-urban area. Whilst it provides numerical guidance these are purely advisory and need to be considered pragmatically.

- In terms of internal daylight amenity, the technical assessment indicates that 99% of the habitable rooms assessed will meet the minimum recommended ADF targets of 1% for a bedroom, 2% for a living/kitchen/dining room and 1.5% for a living room. If a 2% ADF target were considered for the living/dining rooms, 97% of the rooms would meet the ADF targets. In addition, 92% of the rooms will achieve the recommended level of NSL to 80% or more of the room areas. This is considered to be a high level of daylight compliance.

- In relation to internal sunlight amenity, 79% of the windows relevant for assessment will meet the recommended criteria for winter sunlight and 74% for total sunlight. This is considered to be an acceptable level of sunlight compliance.

- In terms of sun hours on ground to proposed amenity areas, the assessment found that all five (100%) of the public amenity areas and the selection of 27 (100%) private amenity balconies/terraces will fully comply with the recommended BRE Guidelines on 21st March.

- The vast majority of neighbouring windows/rooms assessed

will meet the recommended BRE Guidelines for daylight/sunlight. Whilst an isolated number of windows/rooms within some of the neighbouring properties will experience technical breaches of the recommended guidance, such alterations are not unusual when developing in denser urban areas such as Citywest. Furthermore, in consideration of the flexibility afforded by the BRE Guidelines and factors discussed in this report, AY are of the opinion the alterations and retained levels of light are acceptable in terms of neighbouring daylight/sunlight.

- All 12 private gardens serving no's 1-12 Citywest (100%) and eight neighbouring amenity areas (100%) considered for the sun hours on ground overshadowing assessment will fully comply with the recommended BRE Guidelines on 21st March.

Whilst the transient overshadowing technical assessment indicates that shadows will be cast from the Proposed Development, this is inevitable given it is currently green-field land. Overall, it is AY's opinion that the level of overshadowing is acceptable.

In consideration of the above, it is AY's professional opinion that the Proposed Development is acceptable in terms of daylight, sunlight and overshadowing.



Figure 37 - Extract from Avison Young Report - showing Existing and Proposed Developments

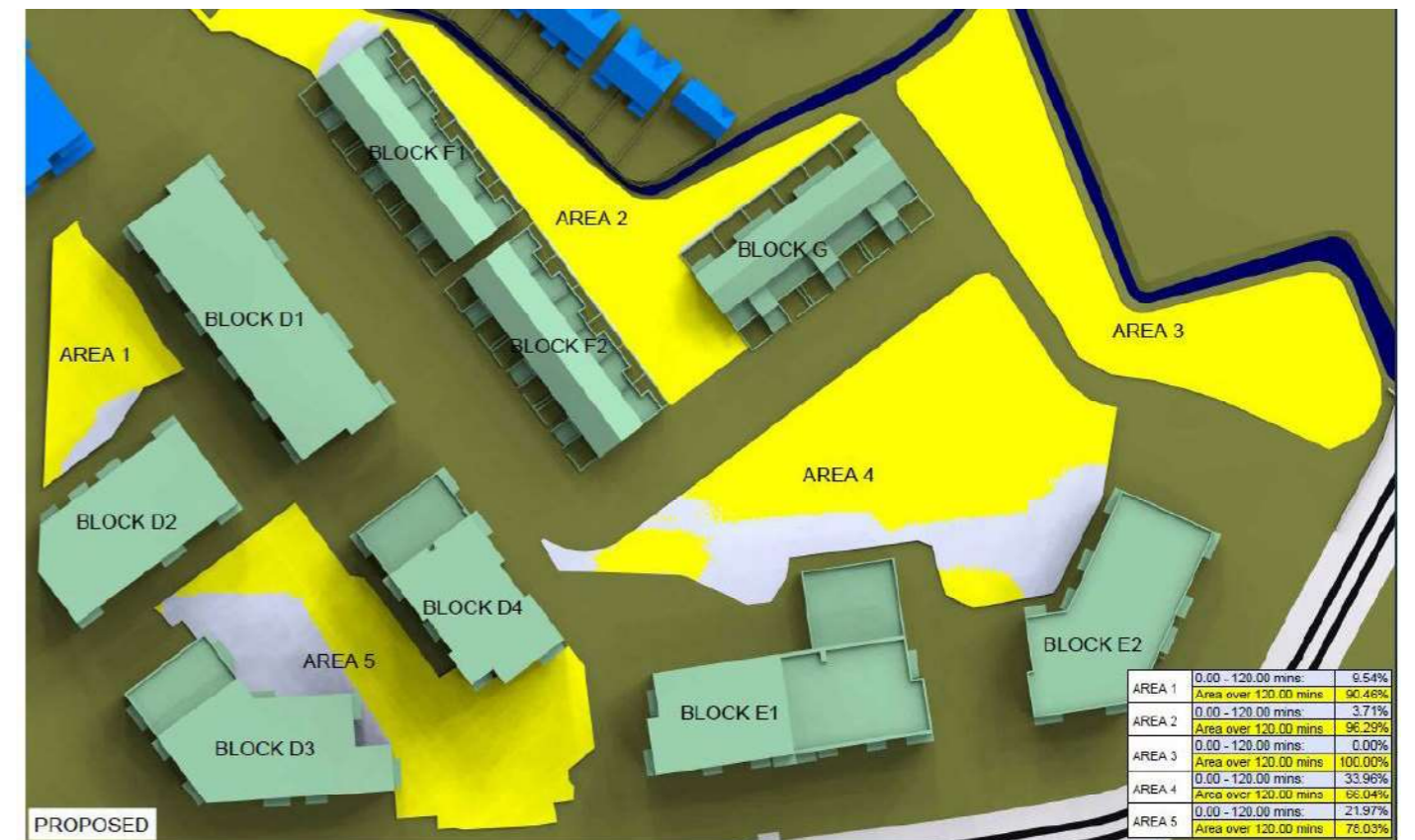


Figure 38 - Extract from Avison Young Report - Overshadowing assessment of the proposed public amenity areas

05 Efficiency - How does the development make appropriate use of resources, including land?

Extract from Pedestrian Comfort CFD Analysis Report, IES.

Executive Summary (Extract)

Steady state CFD simulations were performed to study the impact of wind movement on pedestrian comfort at the proposed Cooldown Commons Phase 3 development by Cairn Homes Properties Ltd in Citywest, Dublin. For the analysis, 8 steady state CFD simulations were performed, one each for the 8 main wind directions – N, NE, E, SE, S, SW, W and NW. The wind speed was set to the annual average wind speed for Dublin. The wind was assumed to have the characteristics associated with wind flowing through a city centre. The results obtained from these simulations were extrapolated along the annual weather data for Dublin to obtain the most probable local air speed for each hour of the year. Statistical analysis was performed on this dataset to check compliance against the Lawson's Pedestrian Comfort criterion.

Sitting and Standing Comfort (C4 and C3)

Excellent compliance was observed for the amenity space outside retail unit to the west of Block E1. Excellent compliance was also observed for the seating area in the courtyard surrounded by blocks D2, D3 and D4.

Rest of the public realm shows acceptable compliance, when the sitting criterion results are combined with the standing criterion results. It should be noted that many of the locations in yellow and orange bands are above the threshold of the sitting comfort criterion of 4m/s for more than 5% of the year. However, when we observe the results of standing comfort criteria, where the threshold air speed is 6 m/s, we see that those locations are effectively compliant. So even when the air speed exceeds 4 m/s, it is also unlikely to exceed 6 m/s.

Also, the results can be noted as excellent overall in context of the Dublin weather.

Walking Comfort (C1 and C2)

The Lawson's Leisure Walking comfort criteria states that the local air speed at designated locations should not exceed 8m/s for more than 5% of the duration analysed. The Lawson's Business Walking comfort criteria stipulates that the local air speed at designated locations should not exceed 10m/s for more than 5% of the duration analysed. The site generally shows excellent compliance with the Lawson's Leisure and

Business Walking Comfort Criteria.

Safety (S1 and S2)

The Lawson's Normal Pedestrian safety criteria stipulates that the local air speed at designated locations should not exceed 20m/s for more than 0.01% of the duration analysed. The Lawson's Sensitive Pedestrian safety criteria stipulates that the local air speed at designated locations should not exceed 15m/s for more than 0.01% of the duration analysed. The site shows excellent compliance with both of the safety criteria – normal and sensitive pedestrians. The Sensitive pedestrian safety criterion applies to the vulnerable people like OAP and children.



Figure 39 - Extract from IES Report



Figure 40 - Extract from IES Report

05 Efficiency - How does the development make appropriate use of resources, including land?

The proposed new taller building element at the southern end of the Cooldown Commons is designed as a beacon at the Fortunestown LUAS stop, marking the arrival to the new Cooldown Commons Residential Quarter.

Increased building height can be seen as a key factor in assisting modern placemaking and improving the overall quality of our urban environments, as noted in the guidelines for Urban Development and Building Heights.

The Cooldown Commons site has a unique position on the LUAS line. At this key location a taller building element has an urban function and its hierarchical impact on the skyline can be discussed relative to similar stops of LUAS. An increase to height at this location contributes to the wider surrounding area, where intensification can be promoted, adjacent to high quality public transport, to secure compact and sustainable urban growth on what is an infill green field site, that is currently not utilised.

The guidelines for 'Urban Development and Building Heights' suggest that higher density developments should address the criteria set out below where against each of the criteria compliance is demonstrated.

At the scale of the relevant city/town:

The site should be well served by public transport with high capacity, frequent service and good links to other modes of public transport.

- The site is located immediately adjacent to the LUAS Fortunestown Stop and a number of Bus Stops, linking the site to the city centre, the outer suburbs and national public transport infrastructure networks.

Development proposals incorporating increased building height, including proposals within architecturally sensitive areas, should successfully integrate into/ enhance the character and public realm of the area, having regard to topography, its cultural context, setting of key landmarks, protection of key views. Such development proposals shall undertake a landscape and visual assessment, by

a suitably qualified practitioner such as a chartered landscape architect.

- The Cooldown Commons Phase 2 development Apartment Blocks has define the western edge to the the Cooldown Commons Phase 3 development. The scale of these buildings and the rising topography from west to east allows the proposed Apartment Blocks D1, D2 and D3 to merge with the existing Blocks A, B and C
- Having established this gradual increase in scale the tallest block D4 has been positioned immediately north of public plaza and in the centre of overall development. The building provides a punctuation point to the development, giving a unique identity and character to this arrival point on the LUAS line.
- As we continue east, the development reduces in scale as it approaches the proposed Park to the eastern side of the development.
- The northeastern corner of the development abuts a predominantly 2 storey residential housing development which has received planning. The development has not been constructed but our proposal is to reduce the scale of Blocks F1, F2 and G to 3 storey, which sits comfortably, and will transition well to this future development.
- A number of verified views have been produced by ModelWorks who have also carried out a landscape and visual assessment of the proposed addition to the Cooldown Commons Residential Quarter.

On larger urban redevelopment sites, proposed developments should make a positive contribution to place-making, incorporating new streets and public spaces, using massing and height to achieve the required densities but with sufficient variety in scale and form to respond to the scale of adjoining developments and create visual interest in the streetscape.

- The proposed development facilitates a new pedestrian and cycle link from the new public plaza to the Citywest Avenue. This is a natural route to and from the surrounding developments culminating, at the Citywest Shopping Centre located to the south of this site. This route feeds east and west to the new public parks. The parks are wrapped with the high density blocks which is a suitable approach to create a sense of place whilst not over powering the existing surrounding apartment blocks.

At the scale of district/ neighbourhood/ street:

The proposal should respond to its overall natural and built environment and make a positive contribution to the urban neighbourhood and streetscape. The proposal should avoid long, uninterrupted walls of building in the form of perimeter blocks or slab blocks with materials / building fabric well considered.

- The primary building of the development Block D4, positioned at the fulcrum of the development, responds to the neighbourhood and local shopping centre. The building has been designed as all brick which is in tune with Cooldown Commons Phase 2 and a suitable alternative to the metal cladding to the shopping centre.
- The main road to the neighbourhood, Fortunestown Lane runs east west between the shopping centre and the proposed development, has been redefined by Blocks D3, D4, E1 and E2 creating a strong urban edge, culminating on the public plaza and LUAS stop. The Brick facades to these blocks will clearly define the new development from this main access route.
- Within the development a new ring road is proposed which links Citywest Avenue in the north to Cooldown Commons Phase 2 access road to the south west, thus combining and completing the Cooldown Commons Quarter

The proposal should enhance the urban design context for public spaces and key thoroughfares

and marine frontage, thereby enabling additional height in development form to be favourably considered in terms of enhancing a sense of scale and enclosure while being in line with the requirements of "The Planning System and Flood Risk Management – Guidelines for Planning Authorities" (2009).

- Block D4 provides a punctuation point for the southern end of the development and is the entry point to the development from the south
- Blocks D1 and D2 complete the eastern edge of Cooldown Commons Phase 2 by increasing the park size and wrapping the park edges similar to Cooldown Commons Phase 2. This creates the heart of scheme combining both development into a coherent new neighbourhood with clearly defined character areas through the use of building design and materiality.
- Blocks E1, E2, F2 and G line the new linear park to the east of the development. The blocks increase in scale to the south of the park presenting a clearly defined backdrop to the park.

The proposal should make a positive contribution to the improvement of legibility through the site or wider urban area within which the development is situated and integrates in a cohesive manner.

- The proposals facilitate an increase in urban links to Citywest Shopping Centre to the south, Cooldown Commons Phase 2 to the west, Citywest Avenue and Cooldown Commons Phase 1 to the North and the future housing development (Reg Ref: SD 16A/0210), and new public park (under construction) to the north-east.

At the scale of the site/building:

The form, massing and height of proposed developments should be carefully modulated so as to maximise access to natural daylight, ventilation and views and minimise overshadowing and loss of light.

- The proposed apartment blocks arrange-

05 Efficiency - How does the development make appropriate use of resources, including land?

ment provides the optimum daylighting solution on the site for both the neighbouring residents to the east and west of the site.

- The tallest building element is to the south of the site with the result that any overshadowing from this element is towards the park and contained within the proposed development. Daylighting and sun-lighting is discussed in further detail later in this section of the design report.

Appropriate and reasonable regard should be taken of quantitative performance approaches to daylight provision outlined in guides like the Building Research Establishment's 'Site Layout Planning for Daylight and Sunlight' (2nd edition) or BS 8206-2: 2008 – 'Lighting for Buildings – Part 2: Code of Practice for Daylighting'.

- Assessment under the BRE guidelines has been carried out to show that results are acceptable for this type of urban infill development on a green field site. The new apartments are also assessed under the guidelines and achieve good levels of daylighting across the scheme.

Where a proposal may not be able to fully meet all the requirements of the daylight provisions above, this must be clearly identified and a rationale for any alternative, compensatory design solutions must be set out, in respect of which the planning authority or An Bord Pleanála should apply their discretion, having regard to local factors including specific site constraints and the balancing of that assessment against the desirability of achieving wider planning objectives. Such objectives might include securing comprehensive urban regeneration and or an effective urban design and streetscape solution.

- Avison Young were commissioned to carry out a comprehensive report on the Daylight, Sunlight and Overshadowing for the proposed development. They have reviewed each apartment individually within the development as well as the impact of the development on all adjoining buildings. The report concludes the scheme meets or betters current standards.



Figure 41 - Aerial View

05 Efficiency - How does the development make appropriate use of resources, including land?

Site Analysis - Heights

There are primarily 2 established building heights within the immediate context of the subject site.

To the east of the development permission was granted (2016) for a predominantly two storey residential housing development. The development has recently received an extension of duration the expected time frame to be completed by 2026. We have arranged the lower level apartment blocks of our development in this location to ensure a housing scheme could work if eventually built. These will be 3 storey Duplex Units Blocks (F1, F2 and G) and we deem this a suitable transition height between both developments.

To the west of the site is the Cooldown Commons phase 2 development (currently under construction). These apartment blocks are predominantly 6 storey in height with the exception of block A in the north eastern corner which is 4 storeys.

We have arranged 2 blocks D1 and D2 to the east and south of these respectively. The residents park facilitates a gentle rise in height (six to eight storeys) here without jeopardising the quality of the public open space, and creating a unique character to the park flanked on all sides with residential apartment blocks, all maximising the amenity to the immediate residents.

Moving south and east within the proposed development we have arranged the tallest blocks along the southern boundary, running parallel with Fortunestown Lane road, creating a strong urban edge to the development when approach from east or west.

Again in the Cooldown Commons Phase 2 we established a six storey height to the eastern blocks, this will now transition to Block D3 which is set at 6 and 8 storeys, the tallest part addressing and establishing the western edge of the public plaza. From the east of the development there is adjacent established building height, but being conscious this edge will play an important part in identifying the site as approached, we have arranged block E1 and E2 at 7 and 9 storeys high, again culminating at the eastern side of the public plaza.

Having established this gateway to the scheme through the location of the plaza adjacent to the LUAS stop, it is appropriate to position the landmark building - Block D4, on the northern edge of the plaza. While the design and treatment of the entire scheme is very high, it is considered that the gateway building is of a high quality design given position and height, proposed at 13 storeys.



Figure 42 - Sketch Site Analysis - Heights

05 Efficiency - How does the development make appropriate use of resources, including land?

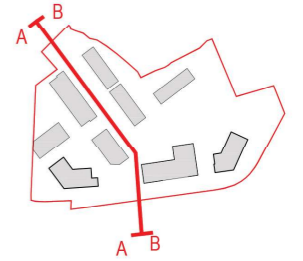


Figure 43 - Site sectionAA



Figure 44 - Site sectionBB

05 Efficiency - How does the development make appropriate use of resources, including land?

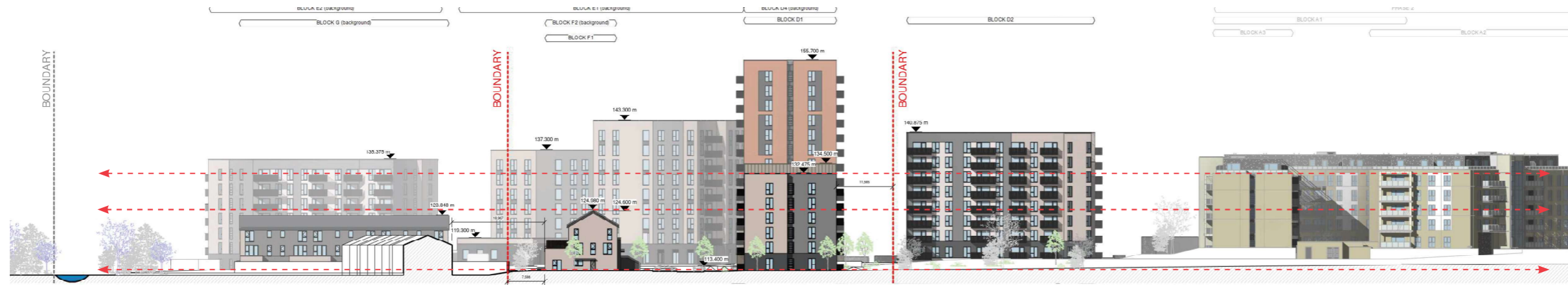


Figure 45 - Site section CC

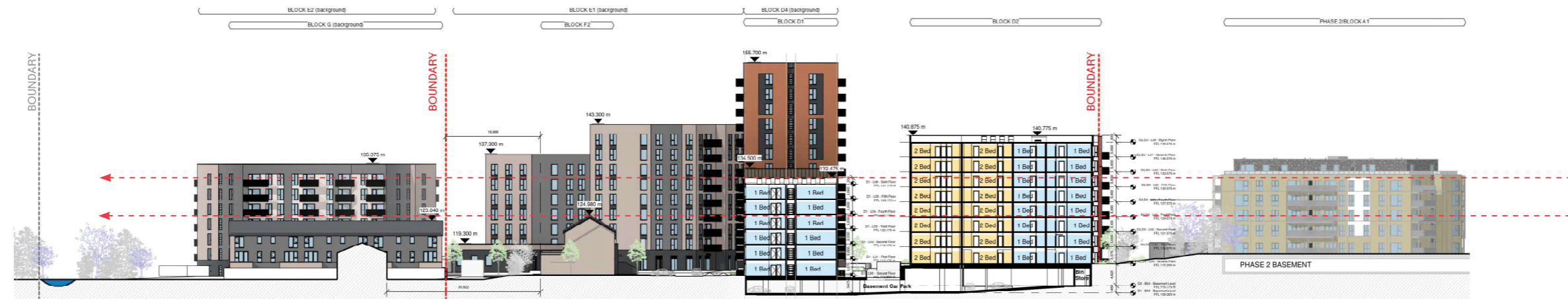


Figure 46 - Site section DD



Figure 47 - Site section EE

05 Efficiency - How does the development make appropriate use of resources, including land?



Figure 48 - View from West Communal Courtyard towards Block D4

06 Distinctiveness - How do the proposals create a sense of place?

"Each successful community has a distinct and special character. That is not to say that each community should compete with or try to upstage the rest – some of the most successful areas have a quiet and easy charm. Nonetheless, each successful neighbourhood will have its own *raison d'être* that makes people choose to live there over other places. Much of an area's character will be derived from elements considered in the other 11 Criteria, including – but not limited to the variety of uses, layout and architecture. But these must come together in such a way as to make the neighbourhood memorable"

DEHLG - Urban Design Manual

Distinctiveness - Positive Indicators:

- The place has recognisable features so that people can describe where they live and form an emotional attachment to the place
- The scheme is a positive addition to the identity of the locality
- The layout makes the most of the opportunities presented by existing buildings, landform and ecological features to create a memorable layout
- The proposal successfully exploits views into and out of the site
- There is a discernible focal point to the scheme, or the proposals reinforce the role of an existing centre

The proposed design looks to create 3 new transition points between the existing built heritage and the proposed final development design.

Public Plaza

To the south of the site is the public plaza which is the fulcrum point to the existing and proposed developments.

The plaza immediately adjacent to the Fortunestown LUAS stop is an appropriate punctuation mark at the transition point between the proposed Cooldown Commons Quarter and the Citywest Shopping Centre off Fortunestown Lane.

This punctuation is in part provided by the existing turn in the road, the proposed new plaza marking the entrance to the new pedestrian and cycle routes to the site, the resolution of a number of new façade frontage lines (Blocks D3, E1 and E2 culminating at D4 located to the north of the plaza, the tallest element to the development, and natural gateway to the new Cooldown Commons Quarter.

"Increased building height in this location can be seen as a key factor in assisting modern placemaking and improving the overall quality of our urban environments as noted in the guidelines for *Urban Development and Building Heights*."

Eastern Public Park

Located north-east of the plaza and fed naturally by pedestrian and cycle routes is a new public park. The park recognises the neighbourhood public park to the east (under construction), with a proposed new access point (refer to landscape report for detail).

The park is flanked north and south with Duplex units and Apartment Blocks providing a distinctive quality to this place, more generous in size than the plaza, but with a natural connection to the proposed park.

The stream and buffer zone to the east also offer a biodiversity to this space which will encourage wild life and wild flowers etc to reinforce the distinctiveness of this place within the overall development.

Western Public Park

Located with the heart of the new Cooldown Commons Quarter this park will complete and complement the eastern edge to the Cooldown Commons Phase 2 development..

The park feeds pedestrian and cycle routes throughout both developments culminating in a strict geometrical border to the park presenting a variety of building facades to bookend the new public park.

The parks geometry represents another variant design to the plaza and eastern park thus reinforcing the locality and neatly combining both developments.



Figure 50 - New linear (Eastern) Park



Figure 49 - Public Plaza to Fortunestown Lane

06 Distinctiveness - How do the proposals create a sense of place?

Existing Site and Building Line to Southern Boundary

- Urban edge to Cooldown Commons phase 2 south east/west boundary needs to be strengthened to give a sense of place
- The site marks the beginning of the new Cooldown Commons Residential Quarter
- The Phase 2 Apartment Blocks do not engage with the surrounding site to the east
- The building line has been established by Apartment Block C, in terms of urban design it needs to be strengthened and regularised to signify the gateway to Cooldown Commons Quarter
- There is no neighbourhood centre

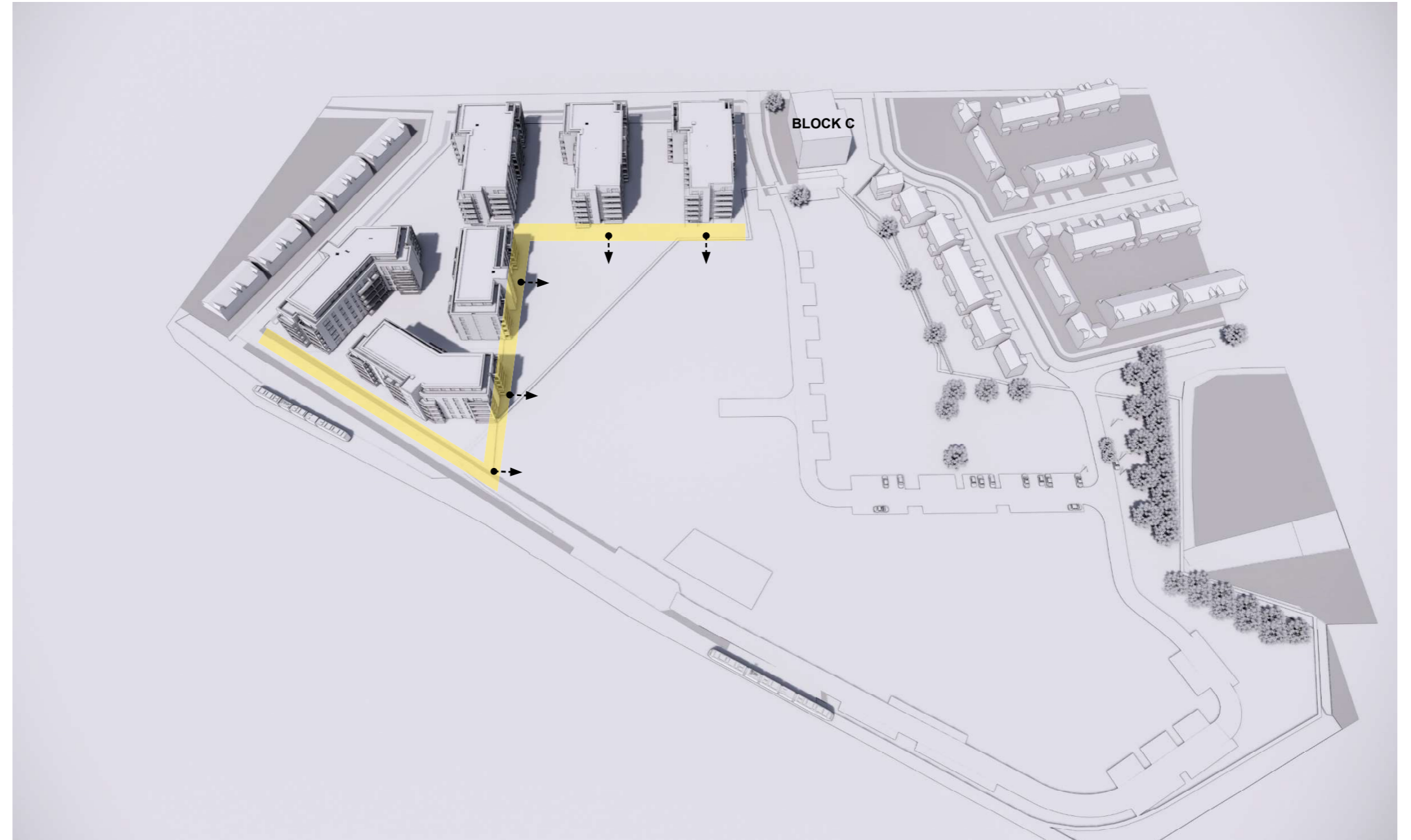


Figure 51 - Current streetscape to Fortunestown Lane

06 Distinctiveness - How do the proposals create a sense of place?

Baseline Proposal to the Residents Park

- Phase 2 development does not engage formally with public park
- Phase 3 development completes the park, flanking all sides with apartment blocks thus giving a sense of scale to this new public open space
- Blocks D1 and D2 rise slightly in scale allowing a transition in density at this suitably sized park
- The phase 3 façade design to the Blocks adds to the variety and distinctiveness of this new park at the heart of the development alongside phase 01 & 02
- The neighbourhood centre is identified by addressing the opportunity to link Public park and proposed plaza to Fortunestown LUAS stop, by programming the built environment around this.



Figure 52 - View to Residents Park – Cooldown Commons Phase 2 & 3

06 Distinctiveness - How do the proposals create a sense of place?

Baseline Proposal to the Residents Courtyard

- Having established a new residents park Blocks D3 and D4 frame a new residential courtyard to serve the adjacent apartments
- The courtyard has good permeability with connections to the existing (Cooldown Commons phase 2) and proposed development
- The courtyard is connected to the residents park and the public plaza via a green corridor which connects both public open spaces
- The revised façade design to the Blocks adds to the variety and distinctiveness of this new green corridor

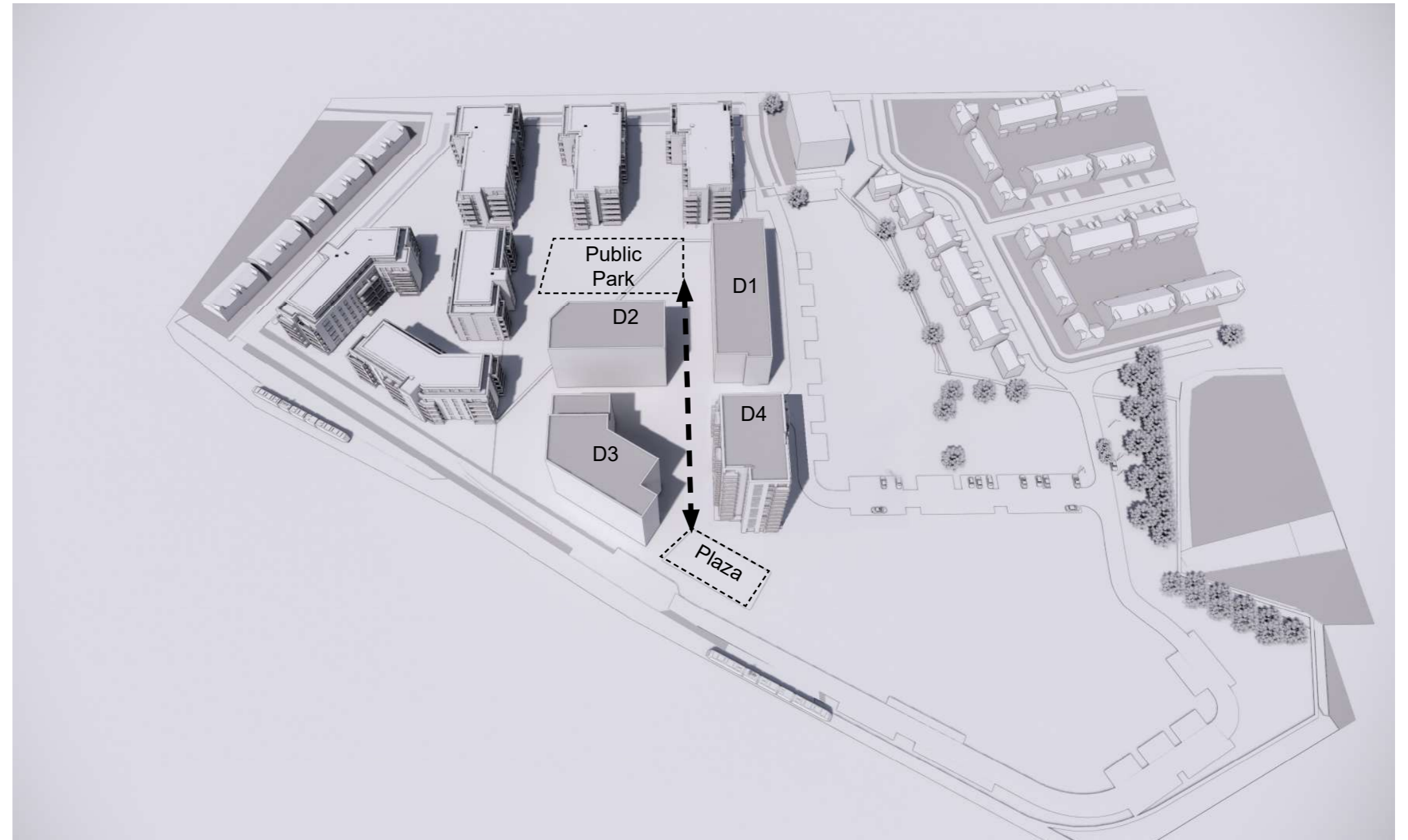


Figure 53 - View from Courtyard to plaza

06 Distinctiveness - How do the proposals create a sense of place?

Baseline Proposal to the Public Plaza

- Blocks D3, D4 and E1 flank 3 sides of the plaza
- Permeability from the plaza to the surrounding development is framed by new apartment blocks
- Plaza has direct connection to the Fortunes-town LUAS Stop
- Blocks D3 and E1 step down from D4 – the focal point of the development
- The character plaza is determined – retail units, office and residential amenity facility all serve the plaza.



Figure 54 - Early Plaza Design – Gateway to New Cooldown Commons Quarter

06 Distinctiveness - How do the proposals create a sense of place?

Baseline Proposal to the Public Plaza

- Blocks D3, D4 and E1 flank 3 sides of the plaza
- Permeability from the plaza to the surrounding development is framed by new apartment blocks
- Plaza has direct connection to the Fortunes-town LUAS Stop
- Blocks D3 and E1 step down from D4 – the focal point of the development
- The character plaza is determined – Retail/ Commercial Units and residential amenity facility all serve the plaza

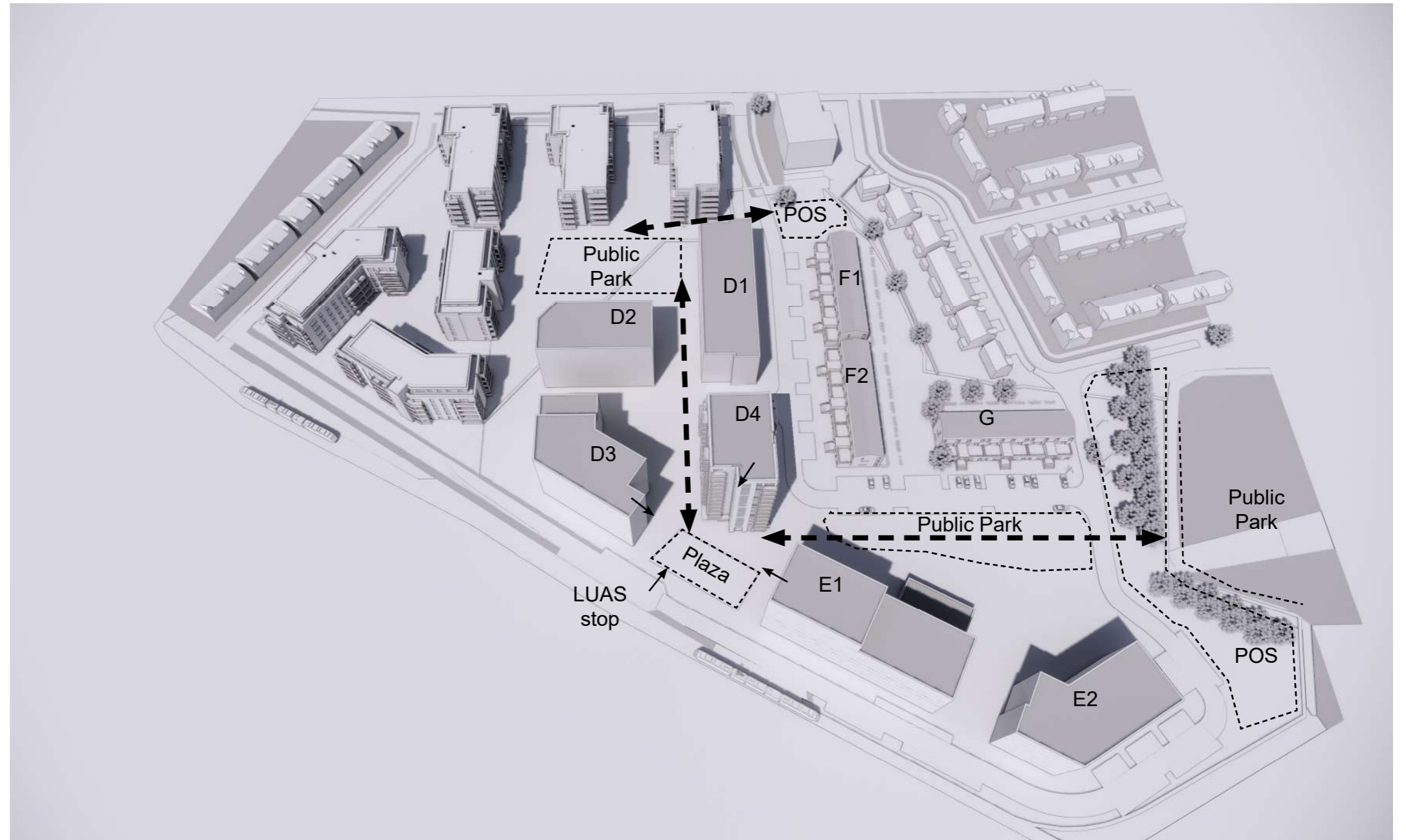


Figure 55 - Block D4 from Linear (Eastern) Park

06 Distinctiveness - How do the proposals create a sense of place?



Figure 56 - Current streetscape to Fortunestown Lane



Figure 57 - Early concept block streetscape to Fortunestown Lane



Figure 59 - Developing concept block streetscape to Fortunestown Lane – Gateway to New Cooldown Commons Residential

Signifying the Gateway - New Cooldown Commons Residential Quarter

- The strategic introduction of height off the southern plaza will allow the building to act as a gateway to the new Cooldown Commons Residential Quarter
- The building acts as the fulcrum to all access routes, promoting maximum permeability through the site, feeding all the proposed public/private open spaces
- Plaza - A new public space is added to the district

Signifying the Transition in the Public Realms

- High Quality Landscaped plaza to address the development to the LUAS stop
- To the west of development, existing public park extended and regularised to conjoin phase 2 and 3 of Cooldown Commons developments
- To the east of development new linear park links the proposed development to the future public park
- Through public domains the development is linked on all sides to the existing developments

Baseline Proposal to Southern Boundary

- The initial building line proposal follows the established building line from Cooldown Commons Phase 2, reinforcing the southern edge to the site
- The site marks the gateway to the new Cooldown Commons Residential Quarter
- The Central Block steps in from the Building line to encompass a new public plaza to signify the gateway to the new Cooldown Commons Residential Quarter

06 Distinctiveness - How do the proposals create a sense of place?



Figure 61 - Public Plaza view from the Fortunestown LUAS stop

• Gateway / Landmark Building Block D4 - Critical Design Elements to Create a sense of place

- Block D4 has been located in the heart of the development with all routes originating or terminating naturally at this point
- Block D4 addresses 2 of the 3 proposed new public open spaces, the plaza at the Luas Stop and to the Eastern Park No 02
- Block D4 has been designed with a high quality and durable materials including full height glazing, brick work and selected render finishes
- Detail Design Features – the gable end of D4 which addresses the plaza has a protruding brick detail to highlight and express the façade to the plaza
- The slender ratio has been carefully considered to all facades with a pronounced step to the plaza, and a strong vertical strip through the western and eastern faced which address the courtyard and the new linear public park.
- The main entrance to D4 have been further enhanced and defined through a cantilever canopy detail which runs full length on the faced culminating with extra height at the entrance to the block when approach from the linear park
- The balcony design to the block is different to the surrounding blocks introducing a solid mild steel and glazed balustrade design



Figure 62 - Block D4 to public park 02

06 Distinctiveness - How do the proposals create a sense of place?



Figure 63 - Eastern Public Park View showing the linear park link

06 Distinctiveness - How do the proposals create a sense of place?



Figure 64 - Aerial View of entire development

07 Layout - How does the proposal create people friendly streets and spaces?

"How the site is laid out is one of the key determinants of successful places. The layout of a neighbourhood can help to determine an area's character and sense of place – the same buildings arranged differently will have a very different feel to each other - its safety and security and how well it works. Many of the mistakes that are attributed to bad planning are often errors of layout – for instance, a dead end that does not connect with the route to the school, or a lonely footpath that is a haven for crime and anti-social behaviour."

DEHLG - Urban Design Manual

Layout - Positive Indicators:

- Layout aligns routes with desire lines to create a permeable interconnected series of routes that are easy and logical to navigate around.
- The layout focuses activity on the streets by creating active frontages with front doors directly serving the street
- The streets are designed as places instead of roads for cars, helping to create a hierarchy of space with less busy routes having surfaces shared by pedestrians, cyclists and drivers
- Traffic speeds are controlled by design and layout rather than by speed humps
- Block layout places some public spaces in front of building lines as squares or greens, and some semi private space to the back as communal courts

The site falls within the Fortunestown LAP contributes in a number of key ways to the larger surrounding urban context.

The site provides a marker the southern boundary of the site flanked by the Luas line and Citywest Drive. The plaza located immediately adjacent to LUAS stop provides a suitably scaled meeting and gathering point acting as the gateway to the new Cooldown Commons Residential Quarter.

The plaza design therefore contributes to the urban context and offers enhanced pedestrian and cyclist routes to and from the development to the surrounding neighbourhoods and shopping percent's in the immediate area.

The plaza will be actively monitored by the ancillary public uses proposed, such as retail/commercial units to Blocks D3 & E1 and residential amenity to blocks D4. All will generate activity and act as designation points to the proposed development and surrounding established neighbourhoods.

The Plaza is enclosed on three sides by blocks E1 to the west D4 to the north and D3 to the east. The blocks are set out in a pixelated east-west semicircle, suggestive of a sun path diagram which is oriented as such to respond to both the Fortunestown LUAS stop and Citywest Shopping Centre opposite but also to avail of the southern aspect. The plaza size has been proportionally determined by the heights of the enclosing buildings.

This was to maximize light penetration during the day 'height of building to plaza volume' This can be viewed in the two lower Blocks E1 and D3 'east and west' being proportionally lower and framing the northern Block D4.

The separation distances between the plaza's immediate enclosure blocks have been carefully considered to maximize privacy between apartments whilst also considering daylight penetration, a sense of framing the plaza and also to frame/focus the line of vision to other spaces throughout the scheme.

Car parking has been located below ground on the main artery thus minimising the impact to the ring road landscape design, which will resemble green corridors feeding and enwrapping the public open spaces. On street parking will be interspersed between significant new tree planting to line the new ring road. The public spaces are generous in the overall hierarchy of public spaces in the surrounding neighbourhoods and provide important natural links and open space opportunities in a dense, urban area. All three public open spaces are disabled accessible and enjoy good passive surveillance from the adjoining apartment blocks overlooking the spaces.

The volume of traffic onto and through the proposed development is designated only, and completes the link to the phase 2 development thus eliminating the current cul de sac design, so ensuring permeability throughout the development. A number of disabled, shared visitors spaces will be provided through out the scheme primarily to the south to serve the non residential uses.

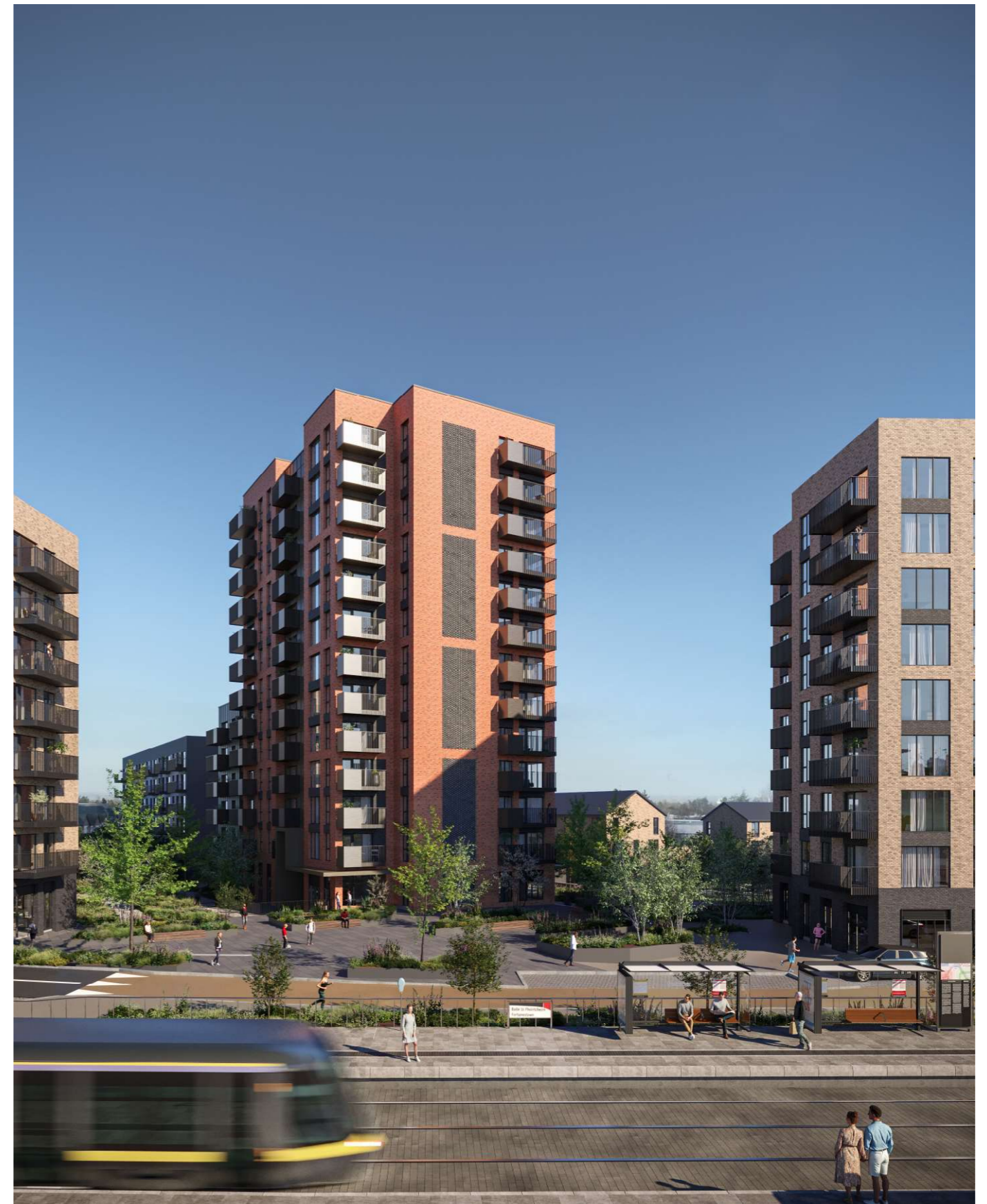


Figure 65 - CGI of proposed development from Fortunestown LUAS stop

07 Layout - How does the proposal create people friendly streets and spaces?



Figure 66 - Ground Floor Plan with pedestrian, vehicle and cycle routes indicated

07 Layout - How does the proposal create people friendly streets and spaces?

Taking In Charge

In the ABP tripartite report it was requested that a site plan be provided showing clearly the areas of the development to be taken in charge.

Fig 67 – Taking in Charge plan clearly shows the areas of the development to be taking into charge by the local authority.



Figure 67 - Taking in Charge areas

07 Layout - How does the proposal create people friendly streets and spaces?



Figure 68 - View from West Communal Courtyard towards Block D4

08 Public Realm - How safe, secure and enjoyable are the public areas?

"The most successful neighbourhoods contain streets, squares, parks and public gardens that are as good quality – if not better, than the private buildings and spaces within the neighbourhood. A neighbourhood with poor quality public spaces will rarely be improved by even the highest quality architecture – whilst a neighbourhood of ordinary buildings can be transformed through improvements to the public realm."
DEHLG - Urban Design Manual

Public Realm - Positive Indicators:

- All public open space is overlooked by surrounding homes so that this amenity is owned by the residents and safe to use
- The public realm is considered as a usable integrated element in the design of the development
- Children's play areas are sited where they will be overlooked, safe and contribute to the amenities of the neighborhood
- There is a clear definition between public, semi-private, and private space
- Roads and parking areas are considered as an integral landscaped element in the design of the public realm

Extract for more information please see Landscape Design Report - Murray & Associates, which accompanies this application.

The external spaces are connected and permeable, although an implied hierarchy of open space is present over the site. This is delineated by scale, materials, planting typology and soft division of spaces, both visually, with planting. Hard landscape elements also help to define spaces such as the raised planting/seating elements in the plaza and changes in materials to define certain uses and thresholds.. The Urban Plaza has an open character, although enclosed by the surrounding urban blocks. This is to allow space for potential events or gatherings at various times of year, while still allowing for safe and accessible pedestrian movement through the site. The pathways through the open spaces are also open in character facilitating legible pedestrian movement, yet have intimate seating areas and spaces addressing the uses of the building frontages. The scale reduces somewhat in the internal courtyards and



Figure 69 - Landscape site plan

residential open spaces, allowing a more passive recreational use, while still integrating with pedestrian movement through the development. The Local Park is open and extensive in nature, and links in the fine-grained urban plaza and residential courtyards with the Neighbourhood Park to the east, via the proposed bridge crossing the Biodiversity Corridor.

Aims and Objectives

- Create a vibrant, multi-faceted public realm for residents, that helps to build new communities within the new development and reinforce existing residential communities in the area.
- Retain and reinforce the existing Baldonnel Upper Stream area, enhancing existing habitats with new native planting and creating a biodiversity corridor.
- Connectivity with the proposed Neighbourhood-Park to the north-east
- Create urban pathways and a central Urban Plaza
- Create legible pedestrian permeability throughout the public realm.
- Link the proposed buildings within the landscape and wider public realm.
- Create comfortable external spaces for all residents and visitors to enjoy, providing various passive and active uses.
- Provide year-round interest and protection from elements through the selection of appropriate planting species and materials.

08 Public Realm - How safe, secure and enjoyable are the public areas?

Landscape Character Area: Urban Plaza

The Plaza area is the central welcoming space within the development from the Fortunestown Luas stop, also acting as a seating space and potential space for events and market stalls. The plaza is edged by commercial and retail spaces, providing an active frontage onto the space.

The plaza space is permeable to pedestrians, allowing easy access to the Local Park, residential courtyard and unhindered pedestrian access to the Luas.

Raised planters incorporate basement vents and give a soft delineation to the entrance into the residential courtyard and provide the opportunity for more intimate seating areas to the east of the plaza. The planters are simple and robust, constructed from decorative exposed aggregate concrete with timber benches installed on top.

The large planters give a generous volume of growing medium while drainage layers and water reservoir layers are specified within the planters to give the proposed trees and planting the best growing conditions possible.



Figure 71 - Concept image



Figure 70 - Landscape site plan showing Public Plaza

08 Public Realm - How safe, secure and enjoyable are the public areas?

Landscape Character Area: Local Park

The Local Park is open and permeable, allowing access to residents and visitors alike. The main spine path provides access from the development through to the proposed Neighbourhood Park to the east, via the proposed bridge over the stream.

This wide spine path also gives access to the activity/play space and the wider area of lawn - a space for play, passive recreation, socialisation and relaxation. The play area includes equipment for both exercise and play.

A portion of the site's attenuation is sited below the park. An above ground detention area is also proposed, calculated to take any +30 year storm event.

The boundaries to the park are soft and permeable - the roadway to the north is screened by tree and shrub planting on gentle grassed and planted berms, while the southern boundary to Blocks E1 and E2 is generously planted with a shrub mix providing year-round interest. Other planting proposed within the Local Park consists of the following:

- Pollinator-friendly species having regard for the All-Ireland Pollinator Plan
- Native shrub planting to create additional biodiversity
- Native Wildflower grass meadow planting
- Tree planting to enclose and define spaces



Figure 73 - Concept image



Figure 72 - Landscape site plan & section showing Local Park

08 Public Realm - How safe, secure and enjoyable are the public areas?

Baldonnell Upper Stream:

The Baldonnell Upper Stream area forms the eastern boundary of the development. The Fortunestown Local Area Plan (2012-2022) states that the stream forms part of a strong element of Green Infrastructure within the area and as such proposals should maximise the opportunities for enhancement of existing ecology and biodiversity.

There is a 10 metre Riparian/biodiversity corridor provided from the top of the bank of the stream as per the plan's recommendations.

Within this corridor, new planting is proposed that in collaboration with the project ecologist will enhance and increase the existing biodiversity within the development lands. Included are native shrubs and trees, native wildflower meadows and stands of native woodland.

A bridge is proposed to sensitively cross the stream, linking in the proposed development's open spaces with the new Neighbourhood Park to the west.

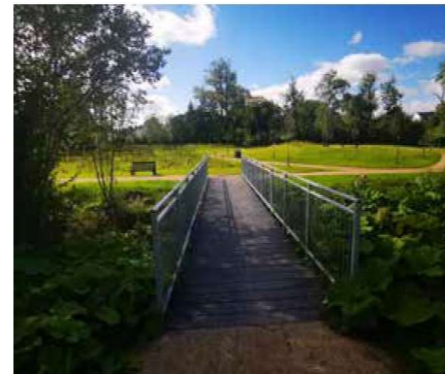
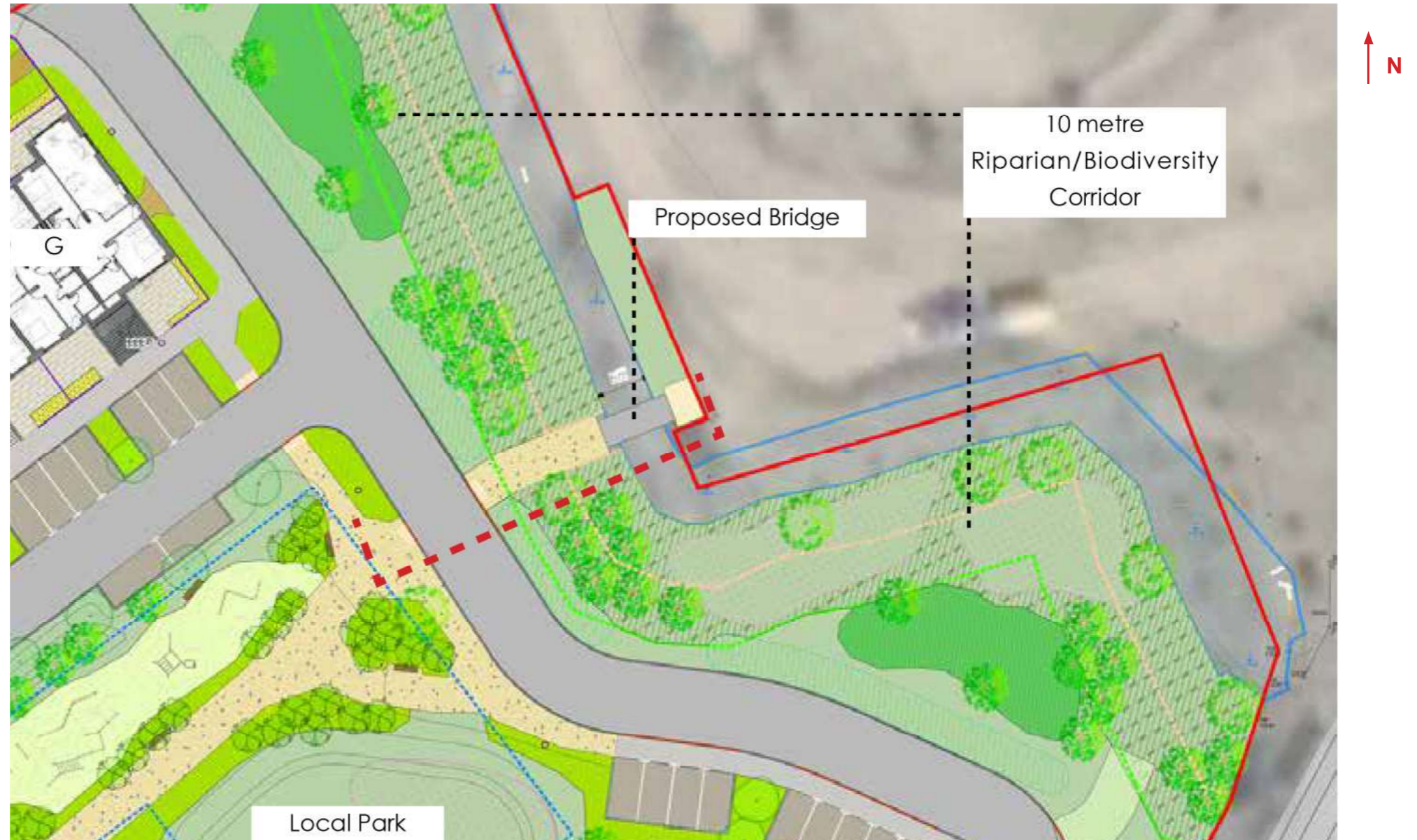


Figure 75 - Concept images

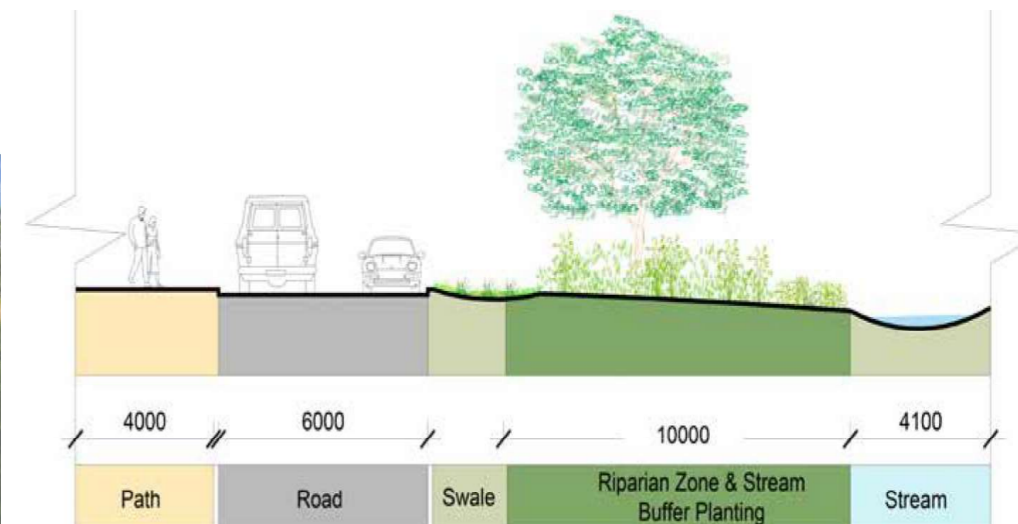


Figure 74 - Landscape site plan & section showing Ballydonnell Upper Stream

08 Public Realm - How safe, secure and enjoyable are the public areas?

Landscape Character Area: Tree Lined Avenue

The proposed 'Greenlink' route (as referred to in the Fortunestown LAP 2012-2022), which incorporates tree planting within grass verges, is intended to pass through the subject site, linking Citywest Avenue to the Fortunestown LUAS stop and the Citywest Shopping Centre beyond. The Fortunestown LAP 2012-2022 states:

"Secondary Street – Green Link: Secondary street that forms part of green infrastructure and links open spaces with way markers that comprise grassed verges and/or central medians planted with street trees."

This LAP also contains Objective GI1:

"Create an integrated network of biodiversity strips through the Plan Lands by way of linking, preserving and incorporating existing hedgerows (especially those at Boherboy and Cheeverstown), wildlife corridors, green corridors and existing streams with a necklace of parks in a manner that forms a link between the Plan Lands and the Dublin Mountains. All developments relating to planting and water features should be cognisant of the potential for creating bird hazard to aviation."

This 'Greenlink' while providing a visually attractive route through the scheme, it will also assist in creating more permeable neighbourhoods by connecting the roads, paths and cycleways between different developments and the wider community, improving the connectivity and integration of the scheme within the surrounding area.

Tree planting is proposed along this route with the aim of providing an attractive streetscape and to partially screen views of the proposed buildings from the surrounding area, while still permitting passive surveillance of the open spaces.



Figure 76 - Landscape site plan showing tree lined avenue

08 Public Realm - How safe, secure and enjoyable are the public areas?

Landscape Character Area: Residential Square

This open space is located at the interface between the proposed development and the Cooldown Commons Phase 2 development that is currently under construction.

The design intent for this area is to treat the space as one to ensure visual and spatial continuity and to maximise permeability between the two schemes. A play facility is also proposed within this area as permitted under the current planning permission, which will contain a variety of play equipment suitable for children between 3 and 12 years of age, such as log balancing beams, swings, climbing frame and slides. Bark mulch is to be used as the surface treatment to all the areas including the fall zones, which will be appropriate for the play facility's type of equipment and its location within this open space.



Figure 77 - Landscape site plan showing Residential Square



Figure 78 - Indicative Play Elements

08 Public Realm - How safe, secure and enjoyable are the public areas?

Landscape Character Area: Residential Courtyard

The Residential Courtyard provides residents with an intimate, human scale communal amenity space. The courtyard is not gated from the wider development; this is to aid permeability for residents of the existing apartments in Phase 2.

Security, privacy and enclosure is provided by the constricted entrance by the Plaza and the other entrances. Structural planting contributes towards this sense of enclosure at the entrances as does a change of material to high quality pre-cast concrete block.

Seating areas are provided around an intimate grassed space (synthetic grass for hard-wearing uses). An outdoor terrace to the west of D4 is provided for use of the resident's clubhouse. This is not accessible to the wider courtyard open space.

Planting within this space is proposed to be of year-round interest, with shrubs giving a strong structural and textural background with drifts of colour provided by perennials from spring into late summer.

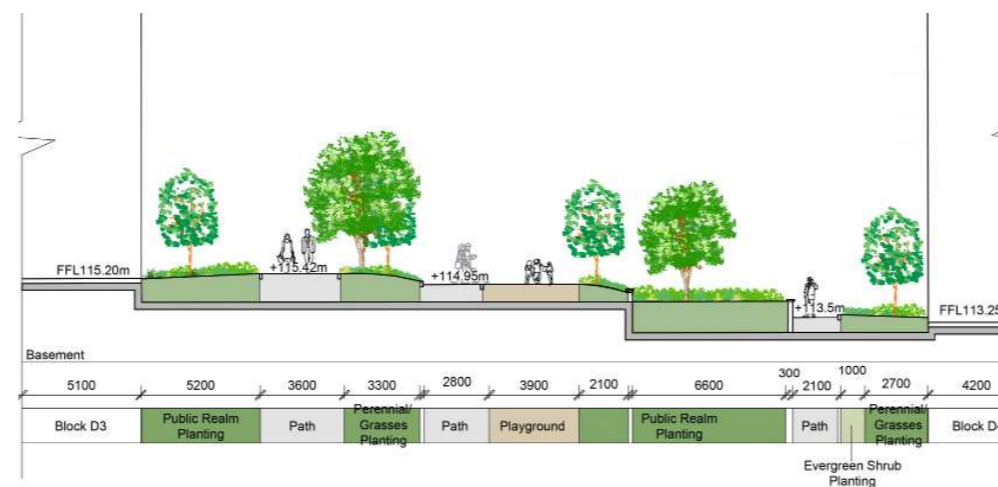


Figure 79 - Landscape site plan & section showing Western Courtyard

08 Public Realm - How safe, secure and enjoyable are the public areas?

Character Area: Secure Communal Space

A secure communal amenity space is proposed to the rear of the Duplex Blocks F1, F2 and G. Access is provided from four separate points to surrounding the space.

The boundaries are vertical steel railings that provide visual permeability to the public realm. Within this space is a play area for toddlers with some exercise equipment included within the play space. A sensory garden is also proposed, providing a calm and interesting space for residents and also giving increase biodiversity benefits.

Areas within the sensory garden can be kept free from planting to allow future residents to plant their own crops or cut flower garden. A central hard landscaped space with age-friendly seating gives residents an area to gather and relax while providing passive observation of the play area.

Tree planting is proposed throughout the space that provides screening from the granted development to the east.

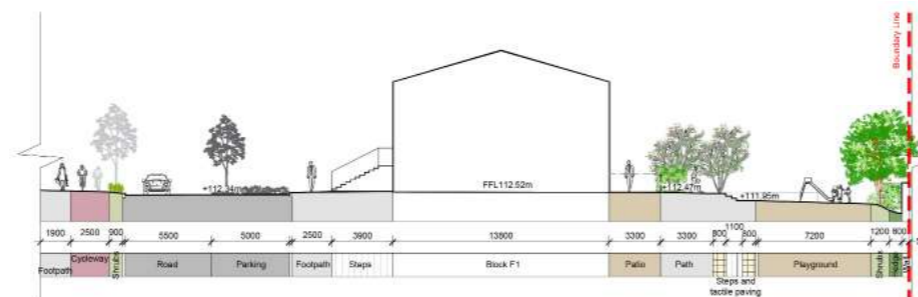


Figure 80 - Landscape site plan showing & section Eastern Courtyard to Duplex Units

08 Public Realm - How safe, secure and enjoyable are the public areas?



Figure 81 - Site Plan with sequential views indicated

08 Public Realm - How safe, secure and enjoyable are the public areas?



Figure 82 - Sequential View 01



Figure 84 - Sequential View 02



Figure 83 - Sequential View 03



Figure 85 - Sequential View 04

09 Adaptability - How will the buildings cope with change?

"The success and sustainability of a housing development can be measured by its longevity. Much of the most successful housing of the past is still in use because it has been able to adapt to changing circumstances – for example by adapting to changing family sizes, different forms of space heating and increased car ownership."

DEHLG - Urban Design Manual

Adaptability - Positive Indicators

- Designs exploit good practice lessons, such as the knowledge that certain house types are proven to be ideal for adaptation
- The homes are energy-efficient and equipped for challenges anticipated from a changing climate
- Homes can be extended without ruining the character of the types, layout and outdoor space
- The structure of the home and its loose-fit design allows for adaptation and subdivision, such as the creation of an annex or small office
- Space in the roof or garage can be easily converted into living accommodation

Residential apartments offer less physical adaptability to residents when compared to individual houses which can be loose fit homes that allow future modifications including extensions and attic conversions.

The Build-to-Sell apartments can provide choice and flexibility to households where traditional house ownership may not be a priority. These might be younger people starting out in their careers, those who move frequently between countries or those looking to downsize from larger properties. The scheme therefore offers adaptability to lifestyles and an addition to the Citywest housing stock.

In terms of physical adaptability, apartment buildings are traditionally concrete column and slab construction, this allows all walls to be of lightweight construction and non load bearing. This offers the opportunity to be able to modify apartments layouts if required or merge/split apartments at a future point in time if circumstances dictate.

The design of the building will limit the amount of energy required for its operation and the amount of carbon dioxide (CO₂) emissions associated with this energy use insofar as is reasonably practicable. The key issues to be addressed in order to provide energy efficient homes equipped for challenges anticipated by a changing climate are:

- providing that the energy performance of the dwelling is such as to limit the calculated primary energy consumption and related carbon dioxide (CO₂) emissions insofar as is reasonably practicable, when both energy consumption and carbon dioxide (CO₂) emissions are calculated using the Dwelling Energy Assessment Procedure (DEAP) published by Sustainable Energy Authority of Ireland;
- providing that, for new dwellings, a reasonable proportion of the energy consumption to meet the energy performance of a dwelling is provided by reasonable energy sources; limiting heat loss and, where appropriate, availing of heat gain through the fabric of the building;
- providing and commissioning energy efficient space and water heating systems with efficient heat sources and effective controls;
- providing that all oil and gas fired boilers shall meet a minimum seasonal efficiency of 90%;
- providing to the dwelling owner sufficient information about the building, the fixed building services and their maintenance requirements so that the building can be operated in such a manner as to use no more fuel and energy than is reasonable.

Future Adaptability.

In drawing Fig.86 we have demonstrated how 2 number one bed apartment units could be re-designed in the future to a two bed unit.



Figure 86 - Example of 2 one bed apartments converted into one 2 bed apartment (Block D1)

09 Adaptability - How will the buildings cope with change?



Figure 87 - Communal Courtyard between Blocks D2, D3 and D4

10 Privacy & Amenity - How do the buildings provide a decent standard of amenity?

"Privacy and amenity are extremely basic human needs. Such matters are particularly important in higher density schemes where good space standards, sound insulation and access to private open space can make the difference between acceptable urban living and a poor living environment."
DEHLG - Urban Design Manual

Privacy & Amenity - Positive Indicators:

- Each home has access to an area of useable private outdoor space
- The design maximises the number of homes enjoying dual aspect
- Homes are designed to prevent sound transmission by appropriate acoustic insulation or layout
- Windows are sited to avoid views into the home from other houses or the street and adequate privacy is affordable to ground floor units.
- The homes are designed to provide adequate storage including space within the home for the sorting and storage of recyclables.

• Communal Amenity Space Calculation

The required amount of communal amenity space for residents is as follows:

126 no. 1 apartments x 5 m² = 630 m²
 267 no. 2 apartments x 7 m² = 1869 m²
 28 no. 3 apartments x 7 m² = 196 m²
 Total required = 2695 m²

The following areas of communal amenity have been provided:

- Western Communal Courtyard and Residents Amenity Terrace= 1930m², which serves Blocks D1, D2, D3 and D4
- North/East Communal Courtyard = 1851m², which serves Blocks F1, F2 and G
- Eastern Communal Courtyard = 2307m², which serves Blocks E1 and E2
- Total = 6088m²

The required areas for communal amenity are exceeded by 3393 m²

Public Open Space Total: 4394 m²



Figure 88 - Public & Private Amenity Space

10 Privacy & Amenity - How do the buildings provide a decent standard of amenity?

Privacy & Amenity - Positive Indicators:

The design maximises the number of homes enjoying dual aspect

Apartment Aspect

Single = 172 Apartments (41%)
Dual = 249 Apartments (59%)

All the proposed apartments within the development have their own private amenity space in the form of balconies (Blocks D1, D2, D3, D4, E1 and E2) or terraces (Blocks F1, F2 and G).

In Block F1 ABP report identified the close proximity to the boundary may rise to overlooking/privacy issues between the sites. In view of this we have incorporated a privacy screen the rear terrace of Block F1. The screen is timber in design and consist of vertical slats (fig 90) which prevent direct overlooking to the adjoining housing units.

The residents will have access to a dedicated residents amenity facility in the ground floor of Block D4. The facility is supported at ground floor with a dedicated terrace for outdoor events and gatherings.

The layout of the proposed apartment buildings is such that they will provide in excess of the minimum standards when it comes to the ratio of dual aspect apartments required.

The primary aspect of the buildings are east-west towards Tallaght and Cooldown Commons Phase 2 and onto shared communal open space between apartment buildings and generous public open spaces including two parks and a plaza

The secondary orientation for a number of apartments has the following solutions to maintain privacy:

- Windows are juxtaposition to avoid direct views towards neighbouring buildings
- Windows have translucent glass to prevent viewing through windows
- Louvres are provided at windows to restrict viewing in a particular direction in Block F1 (Fig.90)



Figure 89 - Typical floor layout showing single & dual aspect units

- 1 Bed Single Aspect Unit
- 2 Bed Single Aspect Unit
- Dual Aspect Unit



Figure 90 - Example of privacy screen to terraces in block F1

10 Privacy & Amenity - How do the buildings provide a decent standard of amenity?

Privacy & Amenity - Positive Indicators:

- Homes are designed to prevent sound transmission by appropriate acoustic insulation or layout

The apartments will be designed to meet the requirements of part E of the technical guidance documents with regards to the acoustic performance of the apartments.

- The homes are designed to provide adequate storage including space within the home for the sorting and storage of recyclables.

Area schedules contained within the Housing Quality Assessment outlines the storage areas that are to be provided for each apartment. The required storage for each apartment will be fully contained with the apartment.

The 'Operational Waste and By Product Management Plan' for the development has been prepared by Byrne Environmental Consulting Ltd with regard to the domestic waste management objectives of the South Dublin County Council Development Plan 2016-2022.

The objective of the Operational Waste Management Plan is to maximise the quantity of waste recycled by providing residents sufficient waste segregation at source infrastructure (3-bin systems in kitchens), waste reduction initiatives and waste collection and waste management information.

All communal waste storage areas shall be designed to accommodate a 3-bin system and shall include visible guidelines for residents on how to correctly segregate their wastes.

Each building will have access to their own respective bin store found in the following locations: -

- Basement Level (Blocks D1, D2, D3, D4)
- Ground Level (Blocks E1 and E2)
- Ground Level (Blocks F1, F2 and G)

The waste areas are easily accessed by residents, management staff and refuse collectors. Staff will bring the bins from the bin stores to a holding area adjacent off the main estate road in order to restrict disruption by waste trucks during collection. Please refer to Waste Management Report by Byrne Environmental Consulting Ltd



Figure 91 - Ground Floor Plan with waste storage areas highlighted

10 Privacy & Amenity - How do the buildings provide a decent standard of amenity?



Figure 92 - Basement Floor Plan with waste storage areas noted

- Waste Stores - Commercial
- Waste Stores - Residential
- ➔ Routes to Waste Stores
- Car parking entrance

10 Privacy & Amenity - How do the buildings provide a decent standard of amenity?

In addition to the residents having access to shared external communal amenity spaces there are also shared internal communal amenity spaces in Block D4, fronting onto the main link road.

The amenity spaces provide animation to the ground floor of the building as well as providing important passive surveillance at ground floor level. The high quality of the proposed residential ground floor amenity space is in keeping with best practice to support and manage large residential developments.

Resident Support Facilities

The development entrance lobby will be in Block D4 where a concierge and secure postal storage facilities will be located. Other support facilities include separate bin storage areas for each block and a centralised bike store with repair station in the basement and in the shared communal open spaces.

Resident Services & Amenities

An appropriately scaled range of resident services and amenities are provided to enhance the quality of living for occupants and to also assist in establishing a sense of community for the residents.

The majority of the service and amenity spaces are provided on the ground floor of Block D4. A kitchen / dining room with an adjoining lounge, cinema and games room for residents is provided with access to a private terrace for outdoor events. It can be reserved to provide a private space for gatherings. This space can spill out into the courtyard and that will enjoy evening light during the summer months of the year.

Block E1 an office unit will be provided to the block eastern side. An additional residential amenity space with a suggested use of gym will face onto the public street. This space will be flexible and will provide active street frontage during the day, with users providing passive surveillance to the adjacent street.

Two Retail Units all located off the main Public Plaza will provide supporting local facilities for the residents and general public to the wider neighbourhood of the new Cooldown Commons Quarter



Figure 93 - Residential Facilities

- Retail
- Office
- Residential Amenities
- Access to communal spaces
- Active Frontage

10 Privacy & Amenity - How do the buildings provide a decent standard of amenity?



Figure 94 - Duplex Communal Space

11 Parking - How will parking be secure and attractive?

"How parking is dealt with on a development site can significantly affect the success of a development. The most successful developments tend to provide sufficient parking to cope with demand in a way that does not overwhelm the appearance and amenities of the public realm."

DEHLG - Urban Design Manual

Parking - Positive Indicators:

- Appropriate car parking is on-street or within easy reach of the home's front door.
- Parked cars are overlooked by houses, pedestrians and traffic, or stored securely, with a choice of parking appropriate to the situation.
- Parking to be provided communally to maximise efficiency and accommodate visitors without the need to provide additional dedicated spaces
- Materials used for parking areas are of similar quality to the rest of the development
- Adequate secure facilities are provided for bicycle storage

DBFL consulting Engineers have prepared a DMURS report which sets out the principles, approaches and standards to be applied to the design of all urban roads and streets (i.e. streets with a speed limit of 60km/h or less). At the heart of DMURS is a place-based, integrated approach to road and street design. This means a collaborative multi-disciplinary approach to the design process, adhering to the following four core principles:

Design Principle 1: To support the creation of integrated street networks which promote higher levels of permeability and legibility for all users, and in particular more sustainable forms of transport

Design Principle 2: The promotion of multi-functional, place-based streets that balance the needs of all users within a self-regulating environment

Design Principle 3: The quality of the street is measured by the quality of the pedestrian environment.

Design Principle 4: Greater communication and co-operation between design professionals through the promotion of a plan-led, multidisciplinary approach to design.



Figure 95 - Ground Floor Plan highlighting vehicle and bicycle parking areas.

The adjacency of the development to the existing LUAS stop and a number of bus stops, means that the option of minimising car parking can be followed.

All resident car spaces are secured within a dedicated basement and within dedicated on street parking, arranged adjacent to the dwellings they will serve.

Apartment Car parking 219 spaces provided ratio .57 per residential unit.

Duplex Car parking 59 spaces provided ratio 1.64 per residential unit.

Bike parking is provided to both surface and basement.

Long-term spaces 530 (330 Basement - 200 Surface)

Short-term (120 surface)

11 Parking - How will parking be secure and attractive?

Vehicle access to the site is via a new estate road, which wraps all the apartment blocks and reconnects to phase 2 of the Cooldown Commons development.

The access will also serve as the access point for cyclists who will enter the development through existing and proposed cycle routes dispersed throughout the new Cooldown Commons Quarter

The minimum clearance height and lane width is provided along the access road and between blocks to maintain fire tender access to phase 2 apartment blocks and also to attend Cooldown Commons Phase3 apartment blocks and to the hospital.

Extract from DBFL DMURS report which accompanies this application.

'The identified masterplan incorporates a hierarchy of streets with Arterial links including the N7, N82 and N81 to the north, east and south of the subject site respectively. Link streets adjacent to the site, such as Fortunestown Lane and Citywest Avenue Extension to the north of the subject site provide the connections between the proposed development and both the above Arterial links and neighbourhood centres, parks and schools.'

The internal road network has been designed to deliver a hierarchy of Local streets that provide access within/across the proposed new residential community and between the Link streets within the site and adjacent to the site. The movement function of each of internal Local street has sought to respect the different levels of motorised traffic whilst optimising access to/from public transport and catering for higher number of pedestrians and cyclists.

In parallel, the adopted design philosophy has sought to consider the context/place status of each residential Local street in terms of level of connectivity provided, quality of the proposed design, level of pedestrian / cyclists activity and vulnerable users requirements whilst identifying appropriate 'transition' solutions between different street types.'



- Basement car parking
- Basement bicycle parking
- Car parking entrance

12 Detailed Design - How well thought through is the building and landscape design?

"While strategic considerations such as location, connections, and sustainability will determine much of the success of a scheme, the finished quality can have a significant effect on a development's character, sense of place and legibility."

DEHLG - Urban Design Manual

Detailed Design - Positive Indicators:

- The materials and external design make a positive contribution to the locality
- The landscape design facilitates the use of the public spaces from the outset
- Design of the buildings and public space will facilitate easy and regular maintenance
- Open car parking areas are considered as an integral element within the public realm design and are treated accordingly
- Care has been taken over the siting of flues, vents and bin stores

The finishes to Cooldown Commons Phase 2 facades are important references for the adjoining Cooldown Commons Phase 3 facade design. The vertically proportioned windows, the use of a brick and render finish to front facades and powder coated balconies are all design principles that are carried over to the proposed new buildings.

These principles are applied in a contemporary manner on the facades of the apartment blocks but have been selected to contrast the existing brick/colour so as maintain a distinctiveness and variety between the developments whilst promoting character areas where they co-reside.

A high quality simple palette of external building materials has been chosen for the development. The palette is predominately comprised two complementary coloured bricks with suitable coloured render dispersed throughout the proposed apartment blocks.

All materials are hard wearing and low maintenance. A green roof will also be used to cover a minimum of 60% of the roof area as a combination of extensive and intensive green roof types.



Figure 96 - Block D4 with material references

12 Detailed Design - How well thought through is the building and landscape design?

The dark and light brick has been applied combined to the upper and lower levels of each apartment block.

The darker brick acts as a plinth the each block culminating at the apartment block entrance and rising to subdivide the blocks symmetrically. The same principle is applied with the render detailing which complementary colour used to match the building facades

This principle has been applied to all blocks except D4 which is ground by the light brick and then subdivided vertically to balance the symmetry of the façade. The entrance to this block has been further expressed through a pressed aluminium canopy which addresses the entrance of the block off the eastern linear park. This design detail is repeated to all the apartment blocks thus ensuring a coherent design language to the phase 3 development

The majority of the car parking is located in the basement in order to maximise the areas of public open space throughout the development and to avoid cluttering the presence of these spaces to the surrounding apartment blocks.

The public plaza is devoid of spaces demonstrating the importance of this space to the heart of the development. The plaza is only accessible by pedestrians with the exception of the emergency access routes.

The provision of a green landscaped spaces wrapped with apartment blocks offers the maximum visual and active pleasure to the residents.

Please refer to the Landscape Design Report by Murray and Associates for further details on the landscape design and materials.

The majority of bin stores and plant areas are integrated into the basement of the buildings D2, D3 and D4. Ventilation grilles for the retail/commercial units residential amenity and office unit are carefully designed into the window systems to minimise their visual impact.



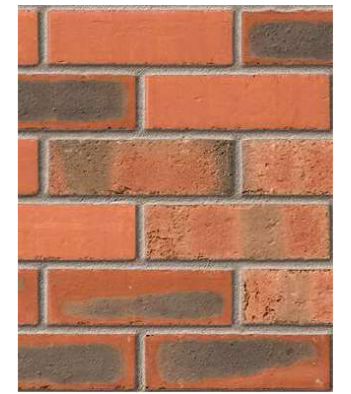
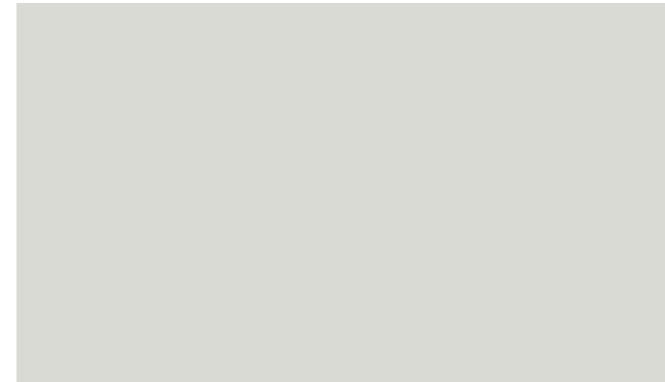
1. Protruding brick features



4. UPVC / Aluminium window and door frames



2. Two types render colours



3 Three types of brick



5. Balconies



6. Green Roof

Figure 97 - Material reference images

12 Detailed Design - How well thought through is the building and landscape design?

Landscape Materials and Finishes



Concrete Paving Units to Pathway



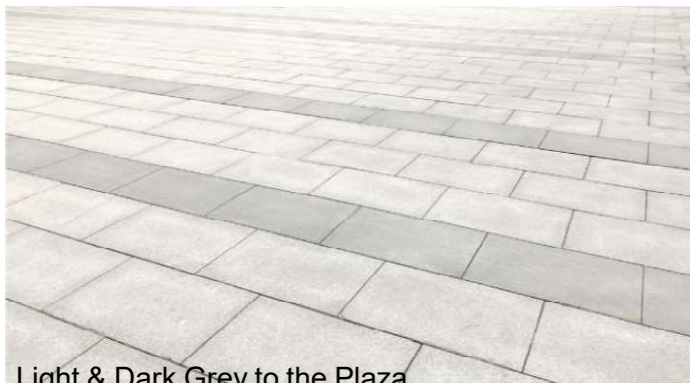
Exposed Aggregate Concrete Path Way to Local Park



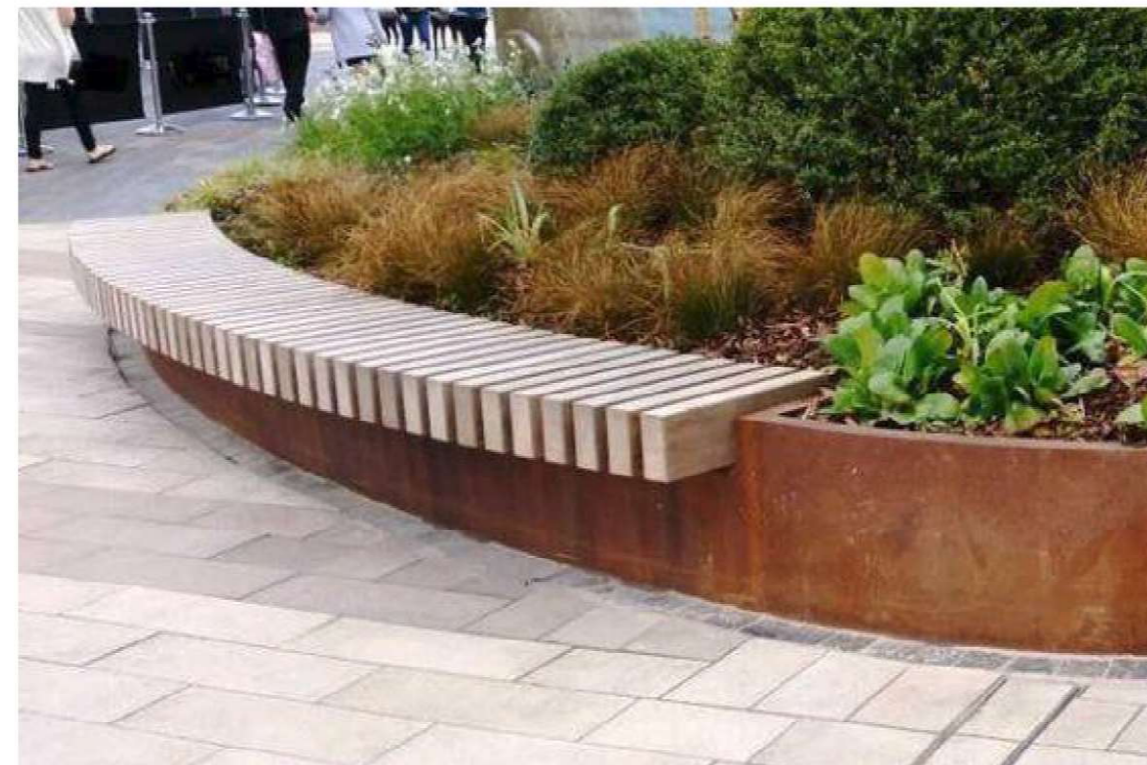
Buff Coloured Asphalt- Shared Surface between Plaza and LUAS



Concrete Paving Units to Pathway



Light & Dark Grey to the Plaza



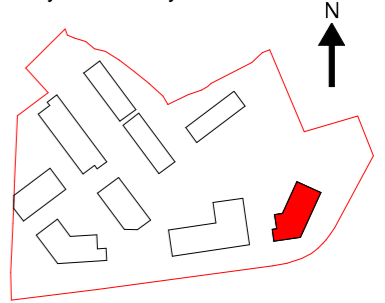
Integrated Seating to raised planters in public open spaces



Steel Planters – Powder Coated to Plaza

12 Detailed Design - How well thought through is the building and landscape design?

Citywest 3 - Key Plan



1 PROPOSED ELEVATION - BLOCK D1 - EAST
1 : 200



2 PROPOSED ELEVATION - Block D1 - NORTH
1 : 200



3 PROPOSED ELEVATION - Block D1 - WEST
1 : 200



2 PROPOSED ELEVATION - Block D1 - NORTH
1 : 200

EXTERNAL FINISHES

1. SELECTED BRICK TYPE 1
2. SELECTED BRICK TYPE 2
3. SELECTED BRICK TYPE 3
4. PROTRUDING BRICK DETAIL
5. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 1
6. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 2
7. SELECTED BROWN GREY RAINSCREEN SYSTEM
8. SELECTED BROWN GREY FINISH TO CANOPIES
9. UPVC / ALUMINIUM WINDOWS AND DOORS
10. CANTILEVERED BALCONY WITH PPC VERTICAL RAILING
11. BACK PAINTED GLASS
12. POWDERCOATED MILD STEEL LOUVERED GRILLES FOR VENTILATION

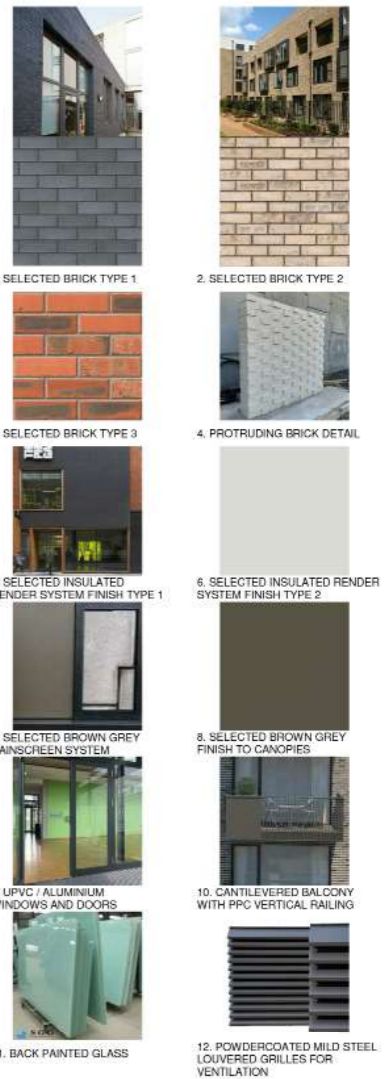


Figure 98 - Facade study - Block D1

12 Detailed Design - How well thought through is the building and landscape design?



1 PROPOSED ELEVATION - BLOCK D2 - WEST
1 : 200



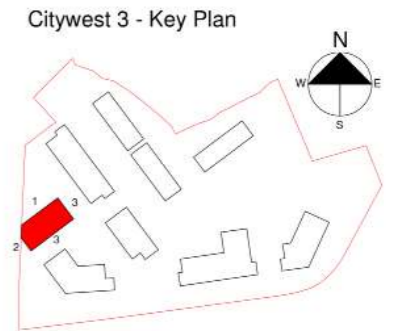
2 PROPOSED ELEVATION - BLOCK D2 - SOUTH
1 : 200



3 PROPOSED ELEVATION - BLOCK D2 - EAST
1 : 200



4 PROPOSED ELEVATION - BLOCK D2 - NORTH
1 : 200



EXTERNAL FINISHES

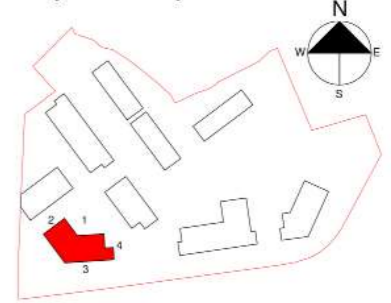
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2. SELECTED BRICK TYPE 2
3. SELECTED BRICK TYPE 3
4. PROTRUDING BRICK DETAIL
5. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 1
6. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 2
7. SELECTED BROWN GREY RAINSCREEN SYSTEM
8. SELECTED BROWN GREY FINISH TO CANOPIES
9. UPVC / ALUMINIUM WINDOWS AND DOORS
10. CANTILEVERED BALCONY WITH PPC VERTICAL RAILING
11. BACK PAINTED GLASS
12. POWDERCOATED MILD STEEL LOUVERED GRILLES FOR VENTILATION



Figure 99 - Facade study - Block D2

12 Detailed Design - How well thought through is the building and landscape design?

Citywest 3 - Key Plan



EXTERNAL FINISHES

1. SELECTED BRICK TYPE 1
2. SELECTED BRICK TYPE 2
3. SELECTED BRICK TYPE 3
4. PROTRUDING BRICK DETAIL
5. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 1
6. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 2
7. SELECTED BROWN GREY RAINSCREEN SYSTEM
8. SELECTED BROWN GREY FINISH TO CANOPIES
9. UPVC / ALUMINIUM WINDOWS AND DOORS
10. CANTILEVERED BALCONY WITH PPC VERTICAL RAILING
11. BACK PAINTED GLASS
12. POWDERCOATED MILD STEEL LOUVERED GRILLES FOR VENTILATION



1 PROPOSED ELEVATION - BLOCK D3 - NORTH



2 PROPOSED ELEVATION - BLOCK D3 - WEST



3 PROPOSED ELEVATION - BLOCK D3 - SOUTH

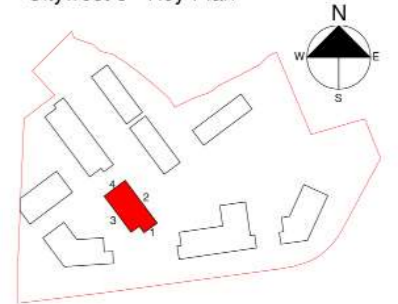


4 PROPOSED ELEVATION - BLOCK D3 - EAST

Figure 100 - Facade study - Block D3

12 Detailed Design - How well thought through is the building and landscape design?

Citywest 3 - Key Plan



1 Block D4 - South Elevation



2 Proposed Block D4 - East Elevation
1 : 200



3 Block D4 - North Elevation



4 Proposed Block D4 - West Elevation
1 : 200

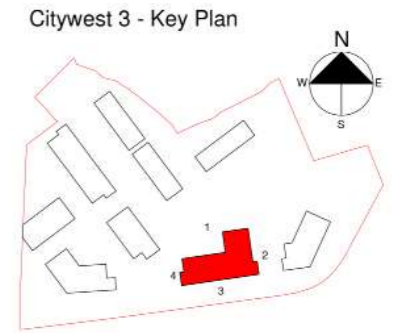
EXTERNAL FINISHES

1. SELECTED BRICK TYPE 1
2. SELECTED BRICK TYPE 2
3. SELECTED BRICK TYPE 3
4. PROTRUDING BRICK DETAIL
5. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 1
6. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 2
7. SELECTED BROWN GREY RAINSCREEN SYSTEM
8. SELECTED BROWN GREY FINISH TO CANOPIES
9. UPVC / ALUMINIUM WINDOWS AND DOORS
10. CANTILEVERED BALCONY WITH PPC VERTICAL RAILING
11. BACK PAINTED GLASS
12. POWDERCOATED MILD STEEL LOUVERED GRILLES FOR VENTILATION



Figure 101 - Facade study 01 - Block D4

12 Detailed Design - How well thought through is the building and landscape design?



EXTERNAL FINISHES

1. SELECTED BRICK TYPE 1
2. SELECTED BRICK TYPE 2
3. SELECTED BRICK TYPE 3
4. PROTRUDING BRICK DETAIL
5. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 1
6. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 2
7. SELECTED BROWN GREY RAINSCREEN SYSTEM
8. SELECTED BROWN GREY FINISH TO CANOPIES
9. UPVC / ALUMINIUM WINDOWS AND DOORS
10. CANTILEVERED BALCONY WITH PPC VERTICAL RAILING
11. BACK PAINTED GLASS
12. POWDERCOATED MILD STEEL LOUVERED GRILLES FOR VENTILATION

1 PROPOSED ELEVATION - BLOCK E1 - NORTH
1 : 200

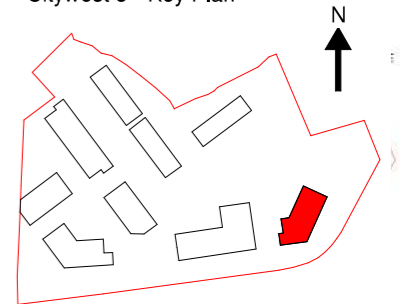
2 PROPOSED ELEVATION - BLOCK E1 - WEST
1 : 200



PROPOSED ELEVATION - BLOCK E1 - SOUTH
Figure 102 - Facade study - Block E1

12 Detailed Design - How well thought through is the building and landscape design?

Citywest 3 - Key Plan



1 PROPOSED ELEVATION - BLOCK E2 - SOUTH-EAST (STREET)
1 : 200

2 PROPOSED ELEVATION - BLOCK E2 - North-EAST
1 : 200

EXTERNAL FINISHES

1. SELECTED BRICK TYPE 1
2. SELECTED BRICK TYPE 2
3. SELECTED BRICK TYPE 3
4. PROTRUDING BRICK DETAIL
5. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 1
6. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 2
7. SELECTED BROWN GREY RAINSCREEN SYSTEM
8. SELECTED BROWN GREY FINISH TO CANOPIES
9. UPVC / ALUMINIUM WINDOWS AND DOORS
10. CANTILEVERED BALCONY WITH PPC VERTICAL RAILING
11. BACK PAINTED GLASS
12. POWDERCOATED MILD STEEL LOUVERED GRILLES FOR VENTILATION



3 PROPOSED ELEVATION - BLOCK E2 - North West
1 : 200

4 PROPOSED ELEVATION - BLOCK E2 - West
1 : 200



Figure 103 - Facade study - Block E2

12 Detailed Design - How well thought through is the building and landscape design?



5 PROPOSED ELEVATION - BLOCK F2 - WEST
1 : 200



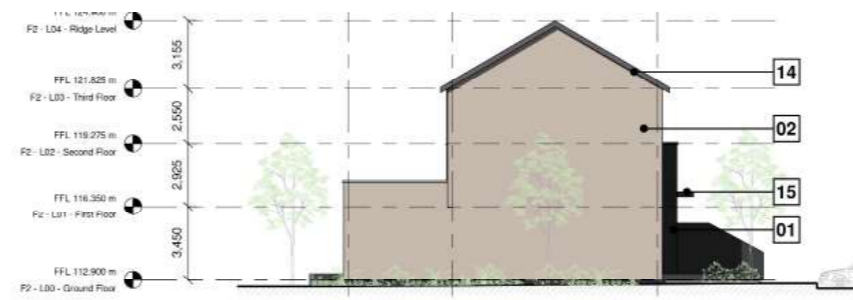
7 PROPOSED ELEVATION - BLOCK F2 - EAST
1 : 200



9 PROPOSED ELEVATION - BLOCK G - SOUTH
1 : 200



11 PROPOSED ELEVATION - BLOCK G - NORTH
1 : 200



6 PROPOSED ELEVATION - BLOCK F2 - NORTH
1 : 200



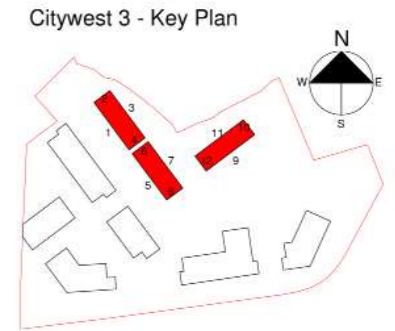
8 PROPOSED ELEVATION - BLOCK F2 - SOUTH
1 : 200



10 PROPOSED ELEVATION - BLOCK G - WEST
1 : 200



12 PROPOSED ELEVATION - BLOCK G - EAST
1 : 200



EXTERNAL FINISHES

1. SELECTED BRICK TYPE 1
2. SELECTED BRICK TYPE 2
3. SELECTED BRICK TYPE 3
4. PROTRUDING BRICK DETAIL
5. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 1
6. SELECTED INSULATED RENDER SYSTEM FINISH TYPE 2
7. SELECTED BROWN GREY RAINSCREEN SYSTEM
8. SELECTED BROWN GREY FINISH TO CANOPIES
9. UPVC / ALUMINIUM WINDOWS AND DOORS
13. 13. SELECTED TIMBER / METAL PRIVACY SCREENS
14. FLAT PROFILE CONCRETE ROOF TILES
15. CANTILEVERED PPC METAL CANOPY



Figure 104 - Facade study - Block F1, F2 & G

12A Landmark Building - Design considerations - Block D4

Landmark Building:

South Dublin County Council advised that the site might be an appropriate location for a landmark building. Under the Local Area Plan, landmark buildings can breach the general height limits.

“Landmark Building:

Design and Character” below. Such a building height can only be justified under the criteria laid down in the ‘Urban Development and Building Heights – Guidelines for Planning Authorities’ (2019) – this is assessed under “Landmark Building: Design and Character” below.

Design, Character and Layout

Landmark Building: Design and Character

Section 5.5.5 of the Fortunestown Local Area Plan includes the following:

5.5.5 Landmark Opportunities and Gateways Treatments

Landmark opportunities refer to sites where there is potential for a landmark building/structure to be developed. Such buildings/structures are permissible at various points throughout the Plan Lands at places that define the location of transport interchanges, significant areas of open space and vistas. Gateway opportunities are identified at major junctions where there is a convergence of key vehicular and pedestrian routes on entering the Plan Lands.

These prominent sites/junctions need special design consideration and should promote a more legible urban environment. Gateway and Landmark buildings/structures do not necessarily mean high buildings, but buildings/treatments that are unique in terms of architectural design, finish and visual impact. Such buildings/surfaces/treatments should be easily recognisable and should add to the sense of place and identity in a manner that punctuates their location.

Landmark and gateway buildings/treatments will therefore only be permissible where they perform a clear way-finding function and contribute to the legibility of the area.”

Landmark Building Height

We have considered that although gateway and landmark buildings/structures do not necessarily imply height our proposed scheme design has an accompanying 8 blocks ranging from 3 to 9 stories, we feel extra height in terms of massing will be needed to give the central structure accentuated presence culminating at 13 levels in Block D4. This will also be achieved alongside delivery of special elevational treatment to distinguish this structure from the rest of the scheme whilst keeping set established design principles. This will act to promote a more legible urban environment and help form an intrinsic architectural feature of interest.

We have considered the location and positioning appropriate for the provision of a Gateway/landmark tower.

Local Historic Context

A landmark building should add to the legibility and sense of place of a development and the wider area, providing a way finder and an identifying feature for the area. Historically we see height being deployed in prominent landmarks, examples of such are seen in the local built environment throughout the South Dublin county, Church of the Nativity in Saggart Village, Tower of St Maelruain’s Church Tallaght village and the Round Tower of Clondalkin Village. Although ecclesiastical in nature the structures in these three local villages Height is employed and demonstrates a set pattern of way finding and local presence and identity.

Central Community Hub

Community focal point/hub, is a lateral way similar to the example suggested before the structure is at the centre point of the new community. The structure will act as a fulcrum to which the scheme radiates. The ground floor level will be dedicated to residential amenity, and associated retail and commercial use. This is key driving design consideration. The residential amenity has been designed as such to engage with all four elevations, in par-



Figure 105 - Wayfinding - Block D4



Figure 106 - Wayfinding - Block D4



Figure 107 - Wayfinding - Block D4

Massing & Slenderness

Block D4's massing height is presented in a stepped structure. The southern portion is 13 levels, to the north it steps down to 6 levels to engage with the adjacent block D1.

In plan, the southern gable has been indented giving a 'Bird's Mouth' effect, in so doing, the volume when viewed from southern plaza and from afar impacts slenderness positively in terms of width to height ratio. The length of the east and west elevations has been broken in two, by stepping the façade back and mirroring this motif to both elevations. By using this design mechanism our intention is to visually split the elevational mass into two components, This idea is further explored in the parapet heights of these two elements which will be slightly higher to the indented linking element.

Materiality

The materiality and detail treatment to the block will be contrastingly different to the accompanying blocks of the scheme. The massing is further reinforced by the materiality and is key design consideration. The taller 13 storey element will be treated in red brick, the 6-storey element will be treated with a seamed metal rainscreen cladding, the linking indented elements will be treated similarly. Red brick will only be utilised on this block to distinguish it from the rest of scheme. The suggested rainscreen cladding will be a complimentary RAL metallic bronze palette. This will give additional depth, as the appearance/ mood will change on time of day and varying light conditions. This is broken down further by the standing seams which cast shadows again to create visual interest.

The rain screen is utilised in the northern lower portion of the block over 5 levels, this is punctuated by simple vertical seams and horizontally projecting each level behind in bands.

This is to accentuate the solid 'tower' element to the more delicate and intimate lower section suggesting verticality

To the southern gable elevation, slender rectilinear protruding brick panels are expressed. These will be in a contrasting colour brick. The panels are massed in a group of four, principally 3 levels in height, again to suggest slenderness but also to add additional backdrop character to the plaza and act as a prominent feature of interest.

The lower floors are linked by an undulating canopy which rises in contemporary fashion signalling the principal core entrances and residential amenity. The fenestration is set back with deep reveals to punctuate the volume and coupled with the balconies creates visual interest.

Transport – Wider Community + Neighbourhood

Block D4 is positioned as such addressing the plaza which directly flanks the Fortunestown Luas stop. Further south of the site lies the Citywest shopping centre. The predominance of medium to low rise structures throughout the immediate area allows the opportunity to envisage the additional height as a means of local wayfinding, local landmark to both identify the LUAS stop / plaza throughout the wider area and to also cement the new centre's importance.



Figure 108 - Wayfinding - Block D4 - Fortunestown Luas Stop - Proposed plaza



Figure 109 - Aerial view of the proposed development